

CULVER RESIDENCE

714 STEINER STREET, SAN FRANCISCO, CA 94117



498 HAIGHT STREET
SAN FRANCISCO, CA 94117
(415) 440-2880



CULVER RESIDENCE
714 STEINER STREET, SAN FRANCISCO, CA 94117

SCOPE OF WORK

REHABILITATION OF THE STRUCTURE, INCLUDING SEISMIC UPGRADES, INTERIOR ALTERATIONS THROUGHOUT, RELOCATION OF A DWELLING UNIT TO THE GROUND FLOOR, THE CONSTRUCTION OF A ONE-STORY REAR ADDITION AT THE GROUND FLOOR WITH DECK, NEW BAY WINDOW AT REAR, INSTALLATION OF SKYLIGHTS AT THE ROOF, AND REBUILDING FRONT ENTRANCE STAIRS, LANDING, AND GARAGE OPENING

PROJECT DIRECTORY

| | |
|---|---|
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BUILDING DATA / PROJECT SUMMARY TABLE

| | | | | | |
|-----------------|-------------------------------|----------------------|---------------------------|-----------------------|-----|
| BLOCK / LOT NO. | 0803 / 019 | MAX DEPTH EXCAVATION | 3'-0" | (E) CONSTRUCTION TYPE | V-B |
| LOT AREA | 23'-3" X 75' = 1,743.75 SQ.FT | SOIL DISTURBANCE | 168 CUBIC YARDS | (N) CONSTRUCTION TYPE | V-B |
| ZONING DISTRICT | RH-2 | EXCAVATION AREA | 1567 SQ.FT | (E) NO. OF STORIES | 4 |
| HEIGHT & BULK | 40-X | EXISTING OCCUPANCY | R-3, U | (N) NO. OF STORIES | 4 |
| EXISTING HEIGHT | 43'-3" ABOVE CURB | | 2 FAMILY DWELLING, GARAGE | | |
| PROPOSED HEIGHT | 43'-3" ABOVE CURB | PROPOSED OCCUPANCY | R-3, 2 FAMILY DWELLING | | |

SF PLANNING CODE SECTION 102: GROSS AREA CALCULATIONS

| LEVEL | EXISTING RESIDENTIAL USE | | | PROPOSED RESIDENTIAL USE | | | EXISTING USABLE OPEN SPACE (COMMON) | PROPOSED USABLE OPEN SPACE (COMMON) | PROPOSED USABLE OPEN SPACE (PRIVATE) |
|--------------------------|-----------------------------------|-----------------------------------|--|--|-----------------------------------|-----------------------------------|-------------------------------------|-------------------------------------|--------------------------------------|
| | UNIT #1 (2-BEDROOM) | UNIT #2 (3-BEDROOM) | COMMON | UNIT #1 (2-BEDROOM) | UNIT #2 (5-BEDROOM) | COMMON | | | |
| 1ST FLOOR | 0 | 0 | 0 | 889 | 183 | 186 | 387 | 327 | 0 |
| 2ND FLOOR | 892 | 0 | 215 | 0 | 1,121 | 0 | 41 | 0 | 115 (UNIT 2) |
| 3RD FLOOR | 0 | 1,114 | 0 | 0 | 1,122 | 0 | 0 | 0 | 0 |
| 4TH FLOOR | 0 | 744 | 0 | 0 | 747 | 0 | 0 | 0 | 0 |
| TOTAL GSF | 892 | 1,858 | 215 | 889 | 3,173 | 186 | 428 | 327 | 115 |
| OVERALL GSF | 2,965 | | | 4,248 | | | | | |
| # VEHICLE PARKING SPACES | # EXISTING VEHICLE PARKING SPACES | # PROPOSED VEHICLE PARKING SPACES | EXISTING VEHICLE PARKING AREA, SQ. FT. | PROPOSED VEHICLE PARKING AREA, SQ. FT. | # EXISTING BICYCLE PARKING SPACES | # PROPOSED BICYCLE PARKING SPACES | | | |
| | 3 | 0 | 399 | 0 | 0 | 2 | | | |

CBC SECTION 502: BUILDING AREA CALCULATIONS

| LEVEL | EXISTING | | PROPOSED | |
|-------------------|--------------|--------------|--------------|--------------|
| | EXISTING | PROPOSED | EXISTING | PROPOSED |
| 1ST FLOOR | 1,057 | 1,259 | 1,057 | 1,259 |
| 2ND FLOOR | 1,086 | 1,101 | 1,086 | 1,101 |
| 3RD FLOOR | 1,114 | 1,122 | 1,114 | 1,122 |
| 4TH FLOOR | 741 | 747 | 741 | 747 |
| TOTAL AREA | 3,998 | 4,229 | 3,998 | 4,229 |

CBC SECTION 502: GROSS FLOOR AREA CALCULATIONS

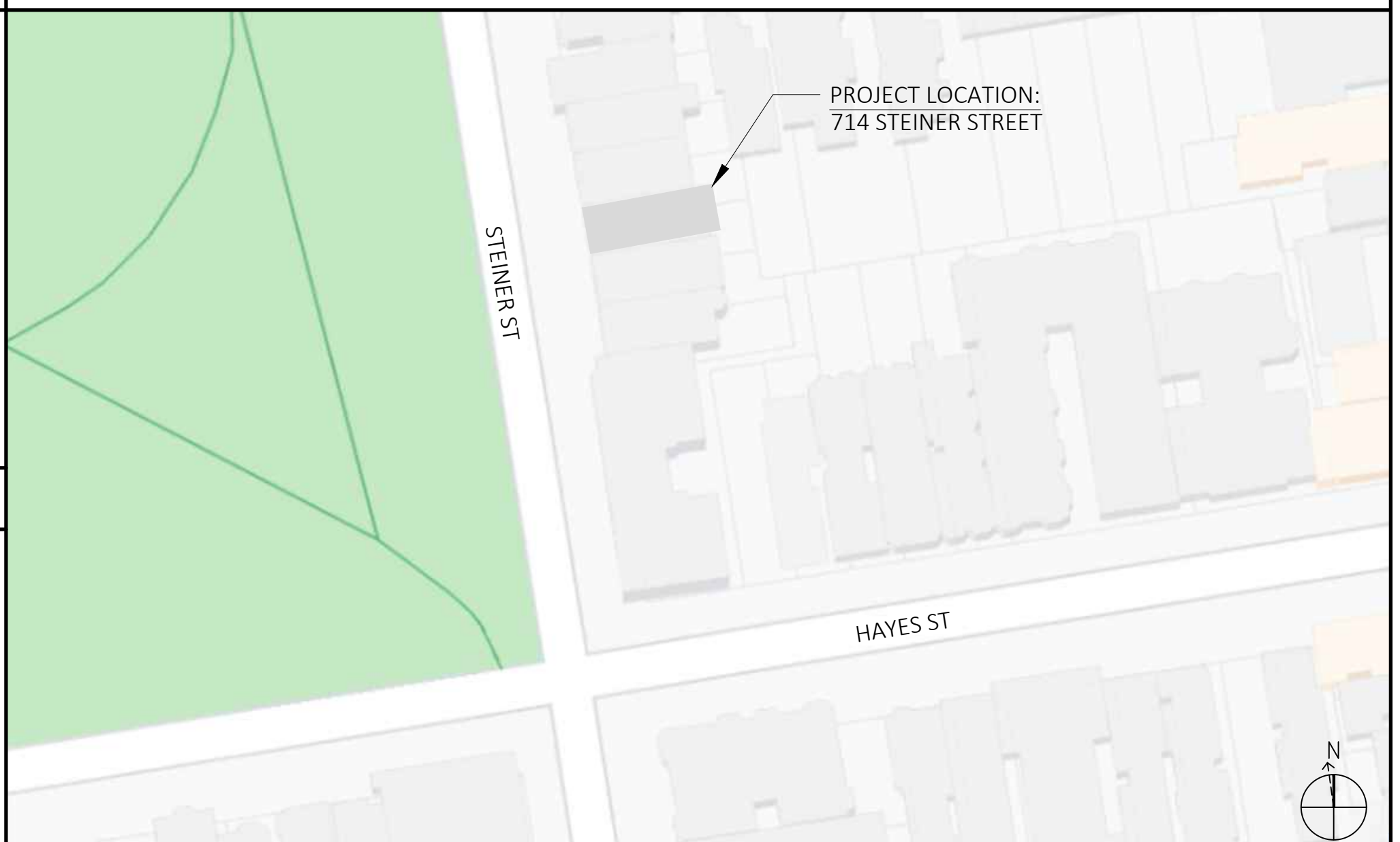
| LEVEL | 'U' OCCUPANCY (SQ. FT.) | | 'R' OCCUPANCY (SQ. FT.) | |
|-------------------|-------------------------|----------|-------------------------|--------------|
| | EXISTING | PROPOSED | EXISTING | PROPOSED |
| 1ST FLOOR | 982 | 0 | 0 | 1,144 |
| 2ND FLOOR | 0 | 0 | 1,001 | 1,013 |
| 3RD FLOOR | 0 | 0 | 1,041 | 1,043 |
| 4TH FLOOR | 0 | 0 | 686 | 665 |
| TOTAL AREA | 982 | 0 | 2,728 | 3,865 |

EFFECTIVE CODES

2019 CBC & SF AMENDMENTS
2019 CHBC
2019 CMC & SF AMENDMENTS
2019 CPC & SF AMENDMENTS
2019 CALIFORNIA ELECTRICAL CODE & SF AMENDMENTS
2019 CALIFORNIA ENERGY CODE & SF AMENDMENTS

BUILDING TO RECEIVE AUTOMATIC SPRINKLER SYSTEM PER 2019 CBC SECTION 903.2.8.1 AND INSTALLED PER 2019 CBC SECTION 903.3.1.3 (SEE "SEPARATE PERMITS" BELOW)

VICINITY MAP



SEPARATE PERMITS

1. AUTOMATIC SPRINKLER SYSTEM

| | |
|-----------------|----------|
| ISSUANCE | DATE |
| CofA/VARIANCE | 05.26.21 |
| BUILDING PERMIT | 03.29.21 |
| MILLS ACT APP. | 05.26.21 |
| PLAN CHECK | 08.24.21 |
| RESPONSE | |

JOB # 2004

PROJECT INFORMATION & SHEET INDEX

G1.0

SCALE: N.T.S.

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GENERAL NOTES

- THE CONTRACTOR SHALL NOT SCALE THE DRAWINGS FOR DIMENSIONS. IF A DIMENSION IS REQUIRED BUT NOT INDICATED, THE CONTRACTOR SHALL IMMEDIATELY REQUEST THE REQUIRED INFORMATION FROM THE ARCHITECT PRIOR TO PERFORMING THE WORK IN QUESTION.
- ALL INTERIOR WALL DIMENSIONS ARE POSITIONED AT FACE OF STUD WALL UNLESS OTHERWISE NOTED.
- (+/-) DIMENSIONS PROVIDED SHALL BE VERIFIED IN FIELD
- THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS BETWEEN THE INFORMATION GIVEN IN THE CONSTRUCTION DOCUMENTS AND THE EXISTING FIELD CONDITIONS PRIOR TO PERFORMING THE WORK IN QUESTION.

SYMBOL LEGEND

| | | | |
|---------------|--|----------------------------|--|
| PROPERTY LINE | | EXISTING WALL | |
| CENTER LINE | | PROPOSED WALL | |
| DEMO LINE | | PROPOSED 1 HOUR RATED WALL | |
| ABOVE LINE | | | |
| HIDDEN LINE | | | |

| | | | |
|-----------------------------|--|---|--|
| NORTH ARROW | | PROJECT NORTH | |
| | | TRUE NORTH | |
| EXTERIOR ELEVATION | | ID NUMBER | |
| | | SHEET NUMBER | |
| SECTION CALLOUT | | ID NUMBER | |
| | | SHEET NUMBER | |
| DETAIL SECTION CALLOUT | | ID NUMBER | |
| | | SHEET NUMBER | |
| ENLARGED DETAIL CALLOUT | | ID NUMBER | |
| | | SHEET NUMBER | |
| INTERIOR ELEVATION CALLOUTS | | ID NUMBER | |
| | | SHEET NUMBER | |
| | | FLOOR NAME | |
| ELEVATION DATUM | | LEVEL | |
| | | HEIGHT | |
| WALL/FLOOR TYPE TAG | | WALL/FLOOR TYPE NUMBER | |
| | | SEE WALL/FLOOR ASSEMBLY | |
| WINDOW TAG | | WINDOW NUMBER, SEE WINDOW SCHEDULE | |
| DOOR TAG | | EXTERIOR DOOR(D) OR INTERIOR DOOR NUMBER, SEE DOOR SCHEDULE | |
| | | EXT. DOOR | |
| | | INT. DOOR | |
| OPENING TAG | | CASED OPENING, SEE OPENING SCHEDULE | |
| | | OPNG. | |

ABBREVIATIONS

| SYMBOLS | | SYMBOLS | |
|---------|-----------------|---------|------------------------|
| | PROPERTY LINE | EP | ELECTRICAL PANEL |
| | SQUARE FEET | ETR | EXISTING TO REMAIN |
| | AND | EQUIP | EQUIPMENT |
| | ANGLE | EQ | EQUAL |
| | AT | EXPO | EXPOSED |
| | DIAMETER | EXP | EXPANSION |
| | PERPENDICULAR | EXT | EXTERIOR |
| | POUND OR NUMBER | | |
| | GREATER THAN | F | FINISH |
| | LESS THAN | FD | FLOOR DRAIN |
| | CENTERLINE | FDN | FOUNDATION |
| | | FF | FINISH FACE OR FINISH |
| | | | FLOOR |
| | | FIN | FINISH |
| | | FL | FLOOR |
| | | FLASH | FLASHING |
| | | FLOUR | FLOURESCENT |
| | | FO | FACE OF |
| | | FOC | FACE OF CONCRETE |
| | | FOF | FACE OF FINISH |
| | | FOS | FACE OF STUD |
| | | FPRF | FIREPROOF |
| | | FTG | FOOTING |
| | | FURR | FURRING |
| | | FUT | FUTURE |
| | | G | |
| | | GA | GAUGE |
| | | GALV | GALVANIZED |
| | | GB | GRAB BAR |
| | | GDRL | GUARDRAIL |
| | | GL | GRIDLINE |
| | | GLS | GLASS |
| | | GFCI | GROUND FAULT CIRCUIT |
| | | | INTERUPT |
| | | GND | GROUND |
| | | GR | GRADE |
| | | GYP | GYP SUM |
| | | GBB | GYP SUM BACKER BOARD |
| | | GWB | GYP SUM WALL BOARD |
| | | GI | GALVANIZED IRON |
| | | H | |
| | | HB | HOSE BIB |
| | | HC | HOLLOW CORE |
| | | HDWD | HARDWOOD |
| | | HDWR | HARDWARE |
| | | HDRL | HANDRAIL |
| | | HM | HOLLOW METAL |
| | | HORIZ | HORIZONTAL |
| | | HP | HIGH POINT |
| | | HR | HOUR |
| | | HT | HEIGHT |
| | | I | |
| | | ID | INSIDE DIAMETER |
| | | INFO | INFORMATION |
| | | INSUL | INSULATION |
| | | INT | INTERIOR |
| | | J | |
| | | JT | JOINT |
| | | K | |
| | | KIT | KITCHEN |
| | | L | |
| | | LAM | LAMINATE |
| | | LAV | LAVATORY |
| | | LED | LIGHT EMITTING DIODE |
| | | | FIXTURE |
| | | LT | LIGHT |
| | | LP | LOW POINT |
| | | LV | LOW VOLTAGE |
| | | LW | LIGHTWELL |
| | | M | |
| | | MAX | MAXIMUM |
| | | MC | MEDICINE CABINET |
| | | MECH | MECHANICAL |
| | | MEMB | MEMBRANE |
| | | MET | METAL |
| | | MFR | MANUFACTURER |
| | | MIN | MINIMUM |
| | | MISC | MISCELLANEOUS |
| | | MUL | MULLION |
| | | N | |
| | | (N) | NEW |
| | | N. | NORTH |
| | | NIC | NOT IN CONTRACT |
| | | NOM | NOMINAL |
| | | NTS | NOT TO SCALE |
| | | O | |
| | | OC | ON CENTER |
| | | OPNG | OPENING |
| | | OPP | OPPOSITE |
| | | P | |
| | | PL | PLATE |
| | | PLAS | PLASTER |
| | | PLY | PLYWOOD |
| | | PNL | PANEL |
| | | PT | POINT |
| | | PR | PAIR |
| | | PT | PRESURE TREATED |
| | | PTD | PAINTED |
| | | PTN | PARTITION |
| | | Q | |
| | | QUAN | QUANTITY |
| | | R | |
| | | R | RISER |
| | | REINF | REINFORCING |
| | | RD | ROOF DRAIN |
| | | REQ'D | REQUIRED |
| | | RESIL | RESILIENT |
| | | REV | REVISION |
| | | RO | ROUGH OPENING |
| | | RWD | REDWOOD |
| | | RWL | RAINWATER LEADER |
| | | S | |
| | | S. | SOUTH |
| | | SC | SOLID CORE |
| | | SCH'D | SCHEDULE |
| | | SH | SHELF |
| | | SHW'R | SHOWER |
| | | SHT | SHEET |
| | | SIM | SIMILAR |
| | | SL | SLAB |
| | | SPEC | SPECIFICATION |
| | | SS | STAINLESS STEEL |
| | | SSD | SEE STRUCTURAL |
| | | STD | STANDARD |
| | | STL | STEEL |
| | | STOR | STORAGE |
| | | STRL | STRUCTURAL |
| | | SV | SHEET VINYL |
| | | SYM | SYMMETRICAL |
| | | T | |
| | | T | TREAD |
| | | TB | TOWEL BAR |
| | | TEL | TELEPHONE |
| | | TEMP | TEMPERED |
| | | T&G | TONGUE & GROOVE |
| | | TH | THRESHOLD |
| | | THK | THICK |
| | | TL | TILE |
| | | TO. | TOP OF |
| | | TOW | TOP OF WALL |
| | | TPD | TOILET PAPER DISPENSER |
| | | TS | TUB STEEL |
| | | TV | TELEVISION |
| | | TYP | TYPICAL |
| | | U | |
| | | UNF | UNFINISHED |
| | | UON | UNLESS OTHERWISE NOTED |
| | | V | |
| | | VEN | VENEER |
| | | VERT | VERTICAL |
| | | VEST | VESTIBULE |
| | | VIF | VERIFY IN FIELD |
| | | VT | VINYL TILE |
| | | W | |
| | | W. | WEST |
| | | W/ | WITH |
| | | WD | WOOD |
| | | WO | WHERE OCCURS |
| | | W/O | WITHOUT |
| | | WP | WATERPROOFING |
| | | WR | WATER RESISTANT |
| | | WT | WIEGHT |



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| MILLS ACT APP. | 05.26.21 |
| PLAN CHECK | 08.24.21 |
| RESPONSE | |

JOB # 2004

ABBREVIATIONS, SYMBOL LEGEND AND GENERAL NOTES

G1.1

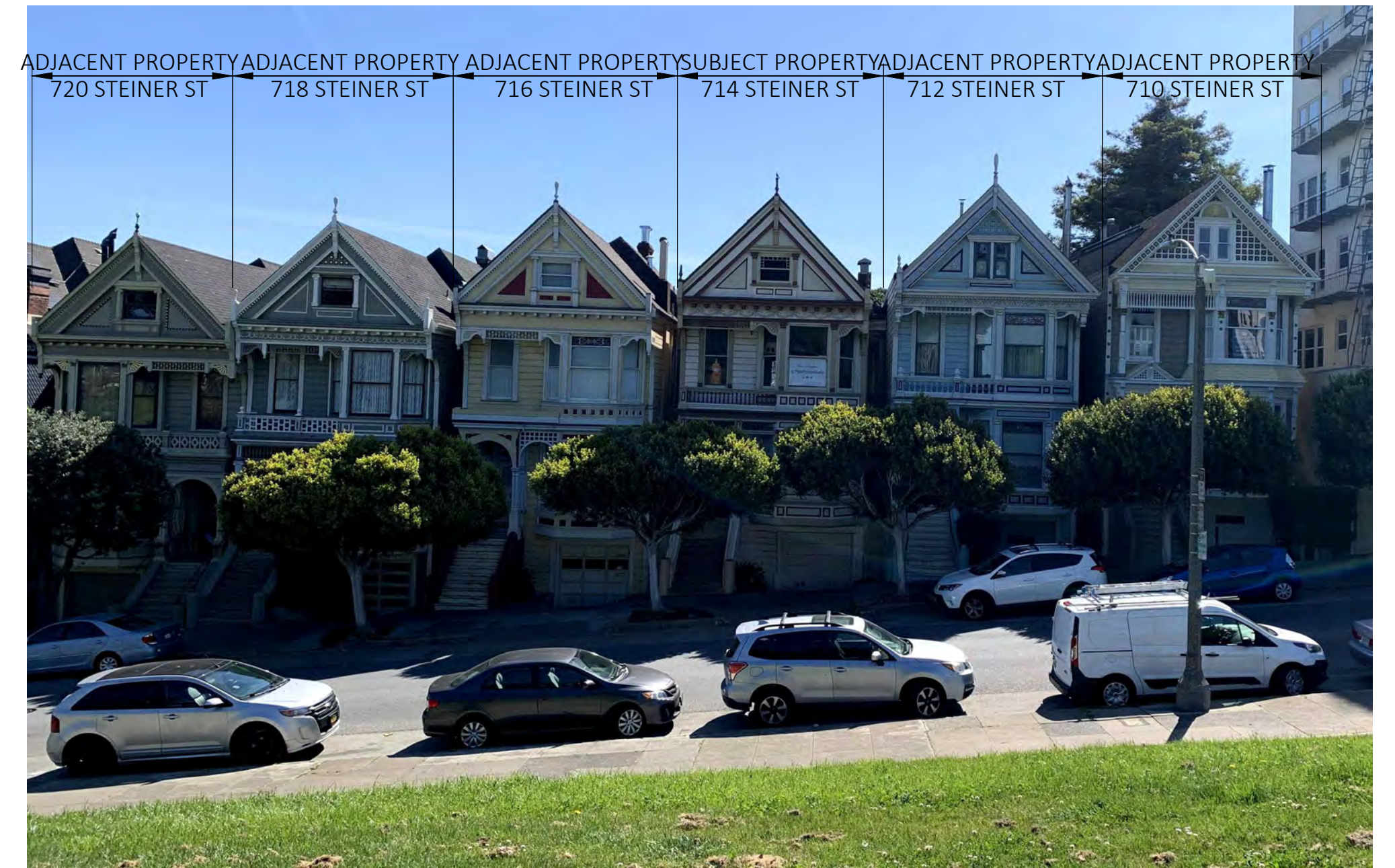
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714 STEINER STREET FRONT FACADE 7



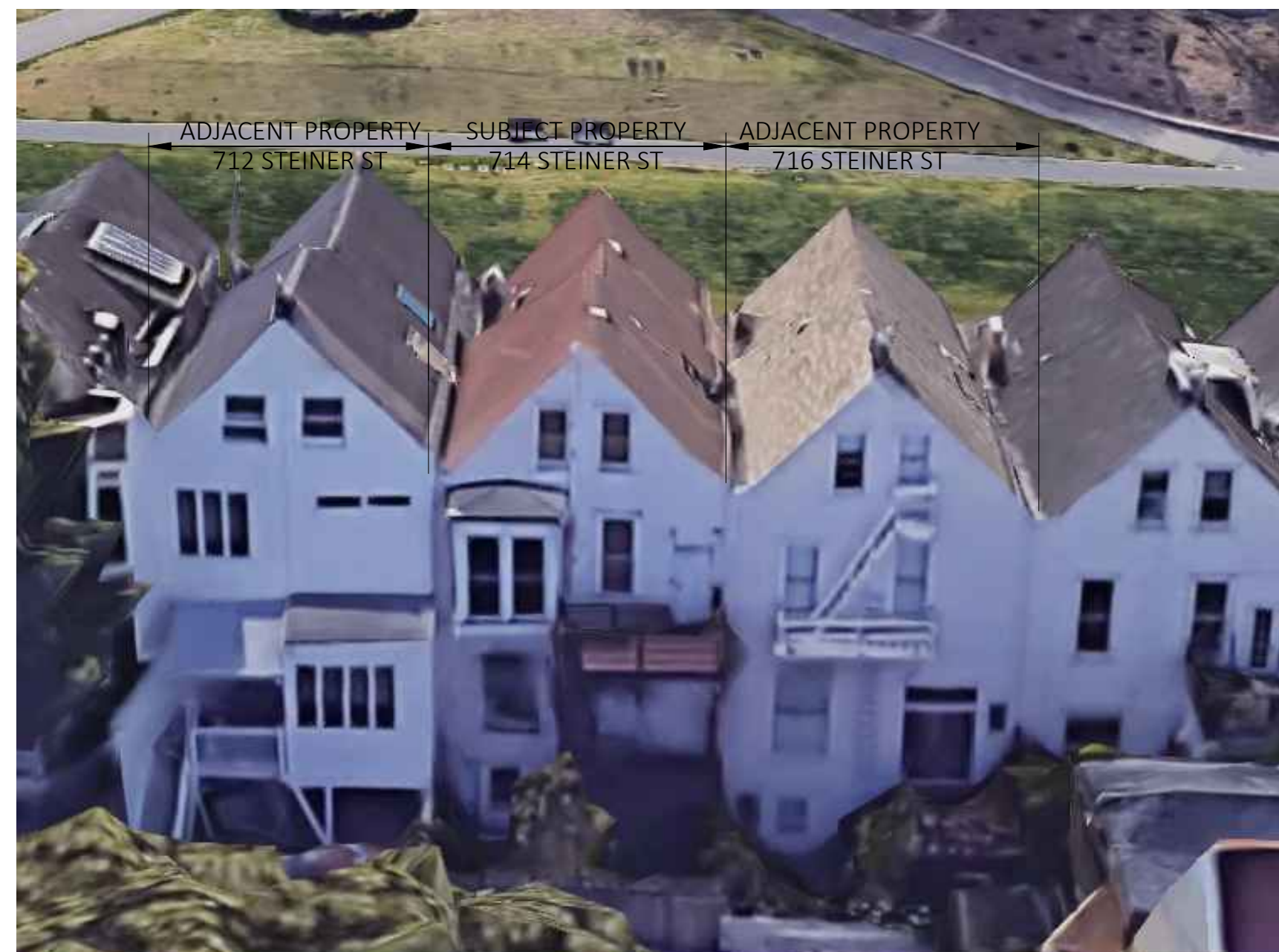
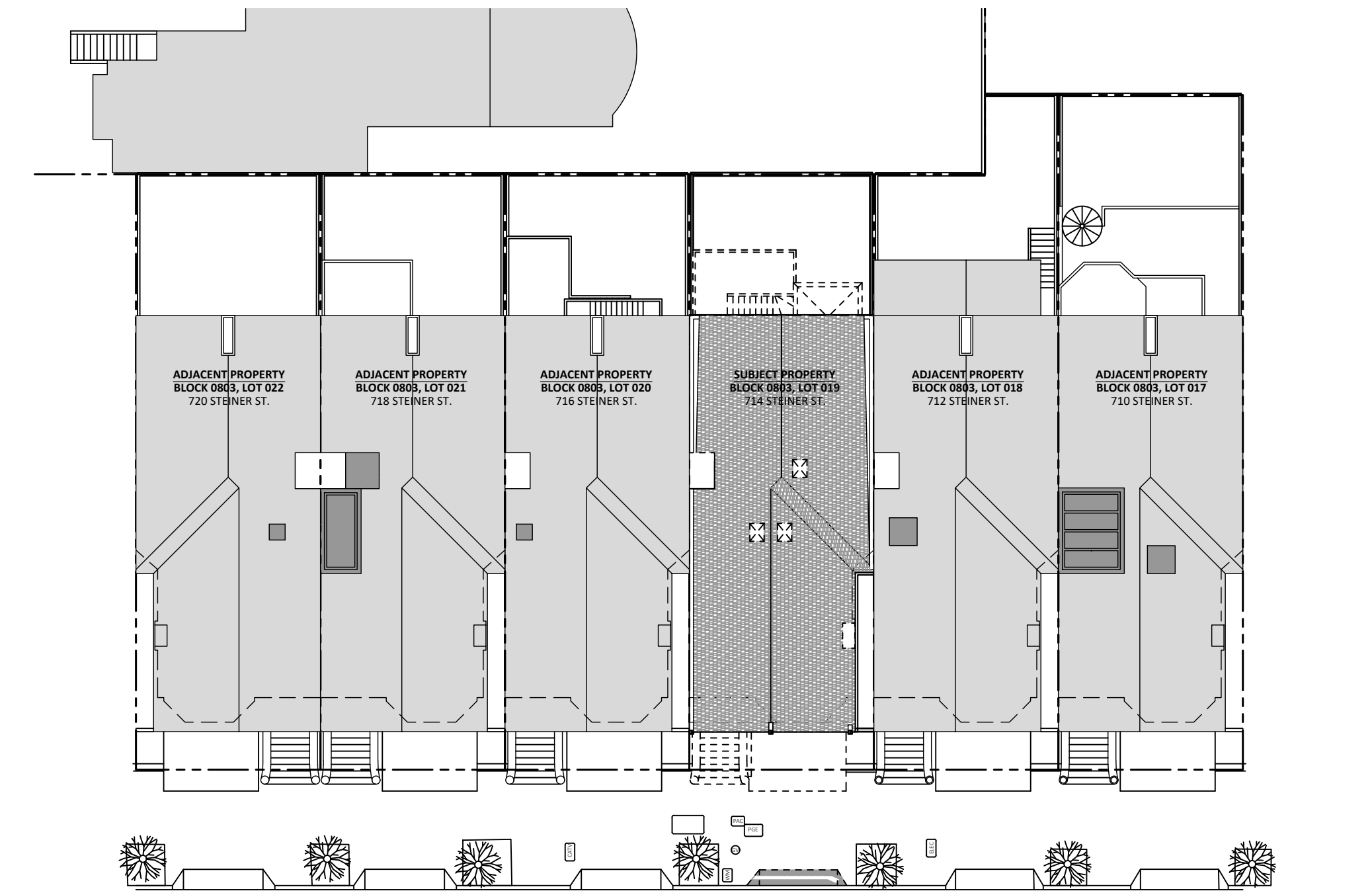
VIEW LOOKING NORTHEAST 5



VIEW LOOKING EAST 2



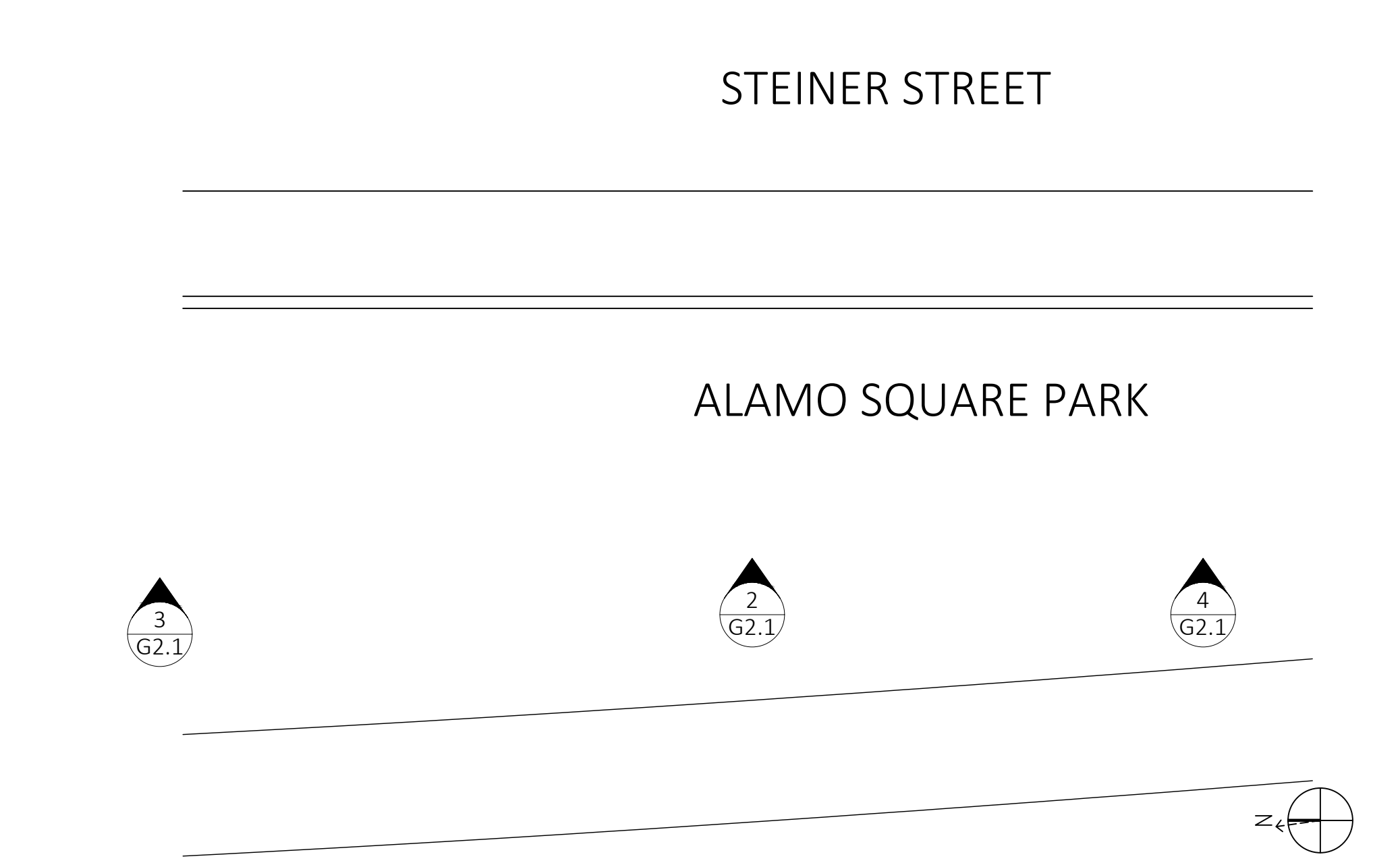
VIEW LOOKING SOUTHEAST 4



REAR FACADES 6



VIEW LOOKING SOUTHEAST 3



PHOTOGRAPH KEYPLAN 1
FOR REFERENCE ONLY



DAVID ARMOUR
ARCHITECTURE

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SITE PHOTOS

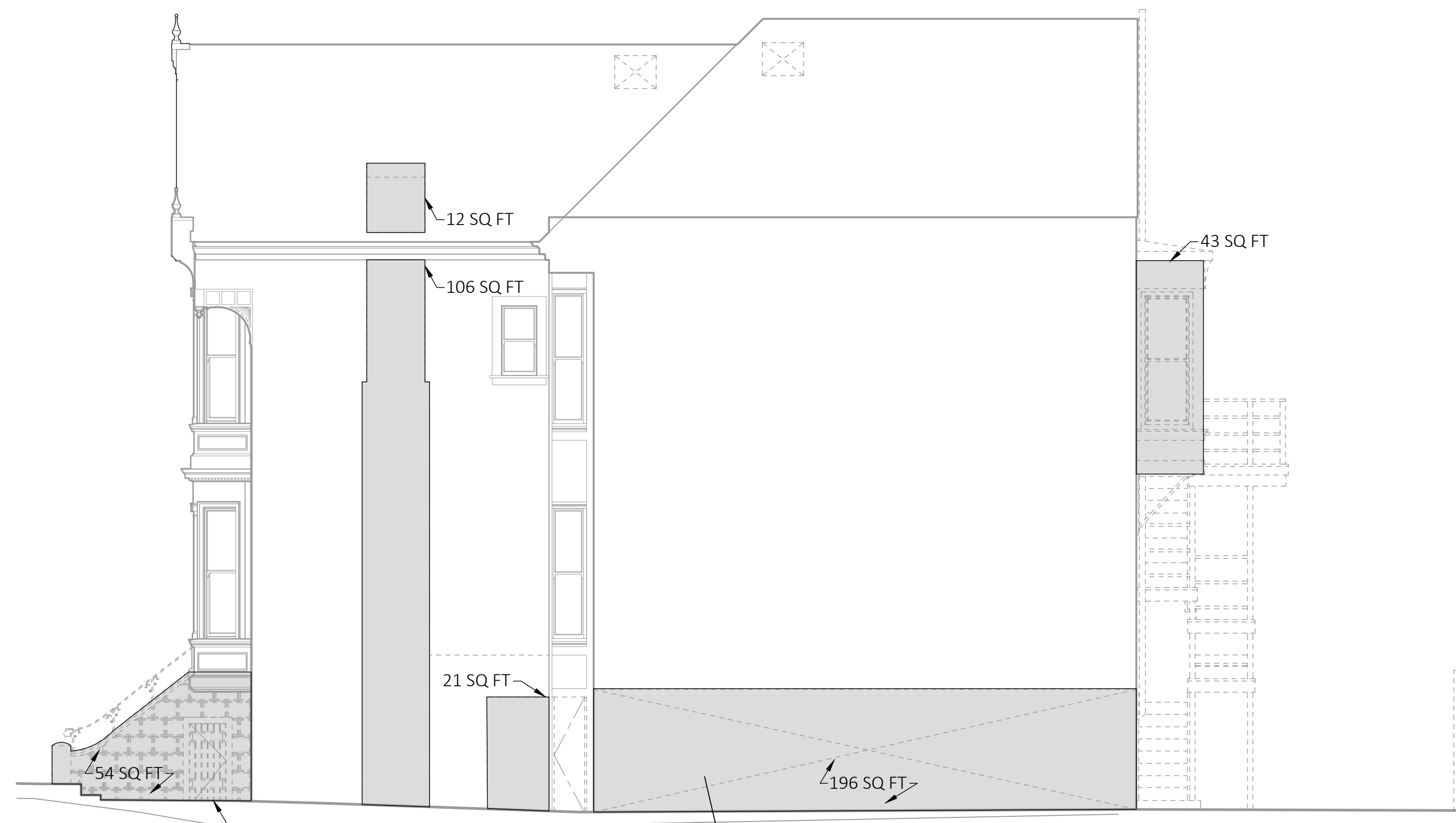
G2.1

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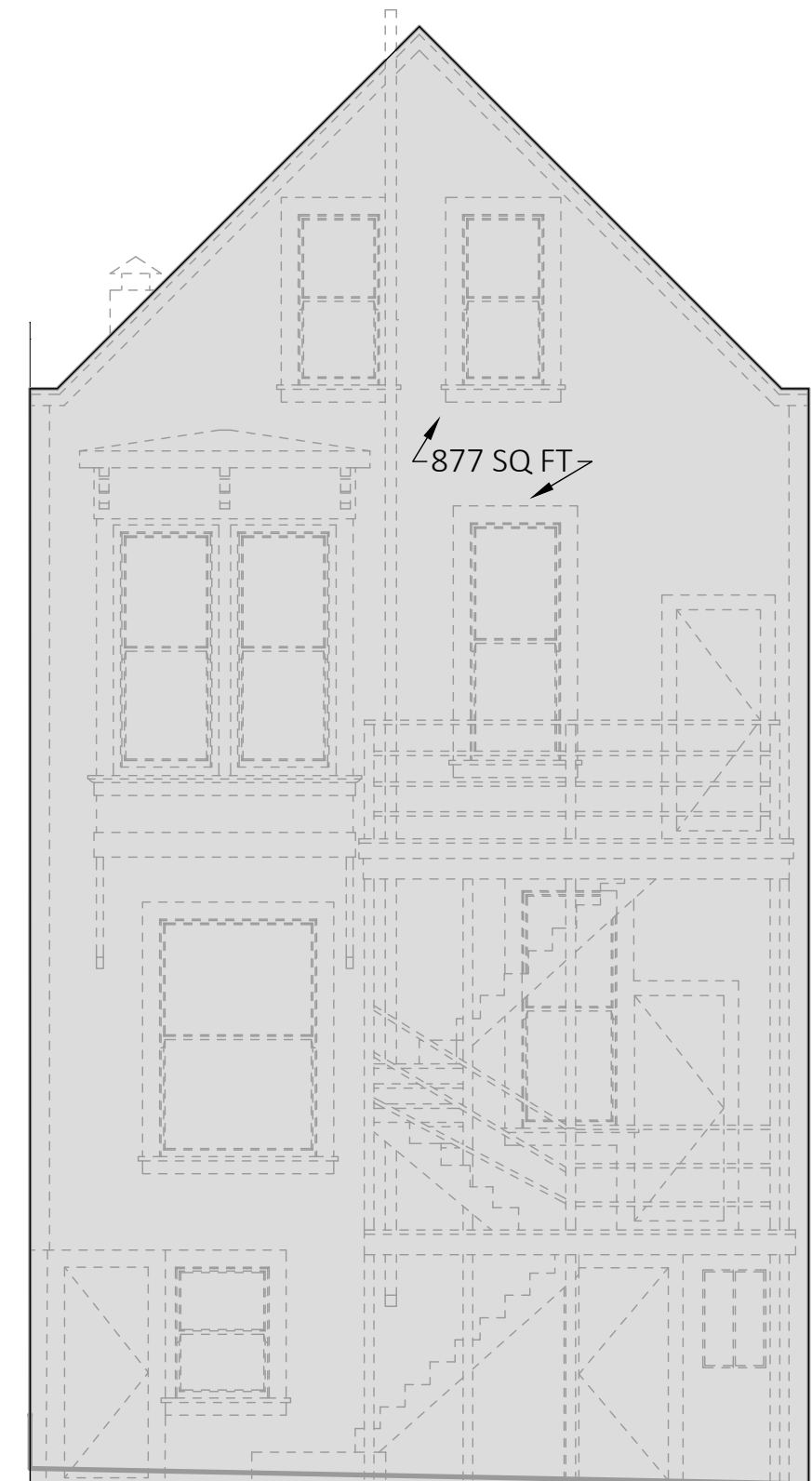
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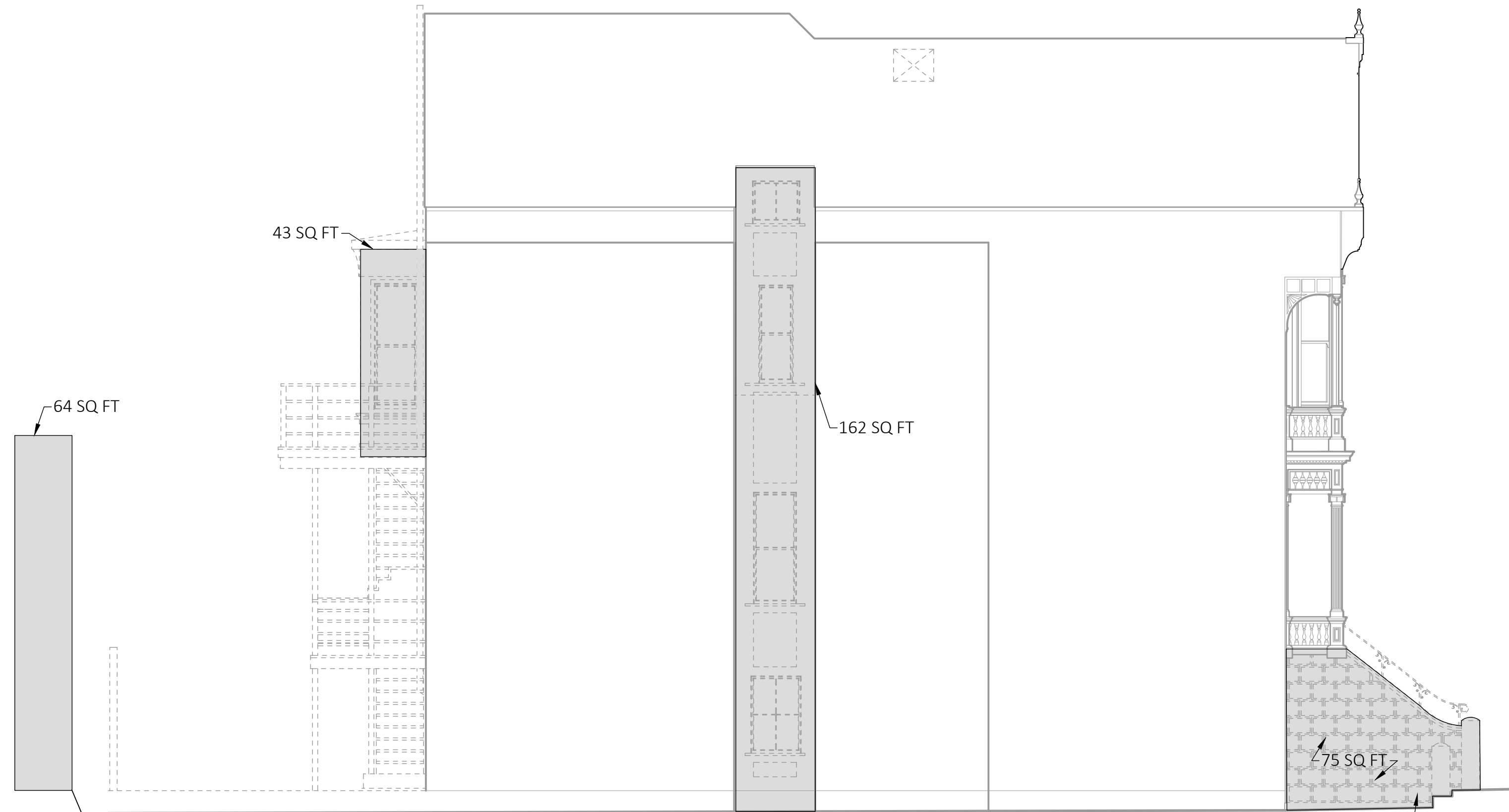
WEST WALL AT LIGHT WELL WEST FACADE
277 SQ FT REMOVED



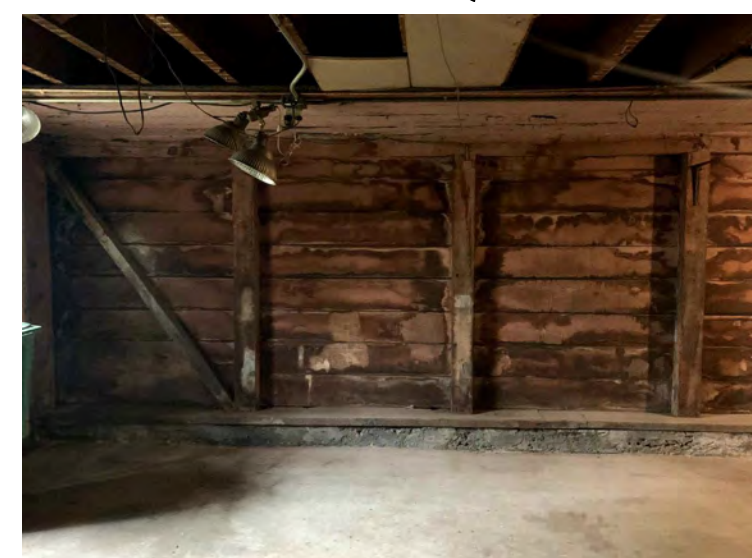
SOUTH FACADE
429 SQ FT REMOVED



EAST FACADE
941 SQ FT REMOVED



NORTH FACADE
242 SQ FT REMOVED



INTERIOR VIEW OF WATER DAMAGED SOUTH PROPERTY LINE WALL INSIDE (E) GARAGE

DRAWING LEGEND

- ARTICLE 10 SEC 1005(F)(2) AND 1005(F)(3) DEMOLISHED WALLS
- DEMOLISHED LINEAR FOOTAGE ELEMENTS
- DEMOLISHED INTERIOR WALLS; LINEAR FOOTAGE ELEMENTS
- RETAINED LINEAR FOOTAGE ELEMENTS

SAN FRANCISCO PLANNING CODE ARTICLE 10 SECTION 1005 (F) CALCULATION TABLE

| 1005(F)(1) SURFACE AREA OF ALL EXTERIOR WALLS FACING PUBLIC STREET(S) (SQUARE FEET) | | | | | | |
|---|---------------|-------------------|-----------|--------------------|----------------------------|-----------------------------|
| LOCATION | (E) AREA (SF) | AREA REMOVED (SF) | % REMOVED | PROPOSED % REMOVED | SECTION 1005 (F)(1) LIMITS | COMPLIES WITH PLANNING CODE |
| FRONT FACADE | 849 | 130 | 15.3% | 15.3% | 25% OR LESS | YES |
| 1005(F)(2) ALL EXTERNAL WALLS FROM THEIR FUNCTION AS EXTERNAL WALLS (SQUARE FEET) | | | | | | |
| FLOOR | (E) AREA (SF) | AREA REMOVED (SF) | % REMOVED | PROPOSED % REMOVED | SECTION 1005 (F)(2) LIMITS | COMPLIES WITH PLANNING CODE |
| NORTH | 1,770 | 280 | 15.8% | 35.7% | 50% OR LESS | YES |
| EAST | 968 | 941 | 97.2% | | | |
| SOUTH | 1,580 | 432 | 27.3% | | | |
| WEST | 938 | 221 | 23.6% | | | |
| TOTAL | 5,256 | 1,874 | 35.7% | | | |
| 1005(F)(3) ALL EXTERNAL WALLS FROM THEIR FUNCTION AS EITHER EXTERNAL OR INTERNAL WALLS (SQUARE FEET) | | | | | | |
| FLOOR | (E) AREA (SF) | AREA REMOVED (SF) | % REMOVED | PROPOSED % REMOVED | SECTION 1005 (F)(3) LIMITS | COMPLIES WITH PLANNING CODE |
| NORTH | 1,770 | 280 | 15.8% | 35.7% | 25% OR LESS | NO |
| EAST | 968 | 941 | 97.2% | | | |
| SOUTH | 1,580 | 432 | 27.3% | | | |
| WEST | 938 | 221 | 23.6% | | | |
| TOTAL | 5,256 | 1,874 | 35.7% | | | |
| 1005(F)(4) ALL EXISTING INTERNAL FRAMEWORK OR FLOOR PLATES | | | | | | |
| INTERNAL STRUCTURAL FRAMEWORK (LINEAR FEET OF INTERIOR PARTITIONS, LOAD BEARING WALLS, COLUMNS, ETC.) | | | | PROPOSED % REMOVED | SECTION 1005 (F)(4) LIMITS | COMPLIES WITH PLANNING CODE |
| FLOOR | (E) LINEAL FT | LINEAL FT REMOVED | % REMOVED | 72.4%*** | 75% OR LESS | YES |
| FIRST FLOOR | 48'-0" | 48'-0"* | 100.0% | | | |
| SECOND FLOOR | 129'-6" | 106'-7" | 82.3% | | | |
| THIRD FLOOR | 104'-11" | 84'-8" | 80.7% | | | |
| FOURTH FLOOR | 145'-3" | 70'-3" | 48.4% | | | |
| TOTAL | 427'-8" | 309'-6" | 72.4% | | | |
| AREA OF ROOF AND FLOOR PLATES EXCEPT AT/BELOW GRADE (SQUARE FEET) | | | | | | |
| FLOOR | (E) AREA (SF) | AREA REMOVED (SF) | % REMOVED | 4.60%*** | 75% OR LESS | YES |
| FIRST FLOOR | 0 | 0 | - | | | |
| SECOND FLOOR | 1,140 | 75 | 6.6% | | | |
| THIRD FLOOR | 1,145 | 28 | 2.4% | | | |
| FOURTH FLOOR | 1,121 | 84** | 7.5% | | | |
| ROOF | 1,118 | 20 | 1.8% | | | |
| TOTAL | 4,524 | 207 | 4.6% | | | |

- * (E) POST AND BEAM SYSTEM TO BE REMOVED AND REPLACED WITH (N) LOAD-BEARING WALLS AS PART OF FULL SEISMIC UPGRADE OF STRUCTURE
- ** (E) ORIGINAL STAIR TO BE REMOVED DUE TO SUBSTANTIAL DAMAGE FROM 1960S ILLEGAL SUBDIVISION OF HOME - WILL BE REPLACED WITH A NEW STAIR TO MATCH ORIGINAL
- *** INTERNAL STRUCTURAL FRAMEWORK DEMOLITION CALCULATIONS INCLUDE REMOVAL OF STRUCTURAL ELEMENTS FROM THE ORIGINAL CONSTRUCTION AS WELL AS THE 1960s WHEN THE RESIDENCE WAS DIVIDED INTO TWO UNITS WITHOUT A PERMIT, THEN SUBSEQUENTLY LEGALIZED.

| INTERNAL STRUCTURAL FRAMEWORK (LINEAR FEET OF INTERIOR PARTITIONS, LOAD BEARING WALLS, COLUMNS, ETC.) - ORIGINAL 1894 CONSTRUCTION | | | | | | |
|--|---------------|-------------------|-----------|--------|-------------|-----|
| FLOOR | (E) LINEAL FT | LINEAL FT REMOVED | % REMOVED | 65.4% | 75% OR LESS | YES |
| FIRST FLOOR | 48'-0" | 48'-0" | 100.0% | | | |
| SECOND FLOOR | 46'-2" | 24'-9" | 53.6% | | | |
| THIRD FLOOR | 98'-1" | 77'-10" | 79.4% | | | |
| FOURTH FLOOR | 145'-3" | 70'-3" | 48.4% | | | |
| TOTAL | 337'-6" | 220'-10" | 65.4% | | | |
| INTERNAL STRUCTURAL FRAMEWORK (LINEAR FEET OF INTERIOR PARTITIONS, LOAD BEARING WALLS, COLUMNS, ETC.) - 1960s ALTERATIONS | | | | | | |
| FLOOR | (E) LINEAL FT | LINEAL FT REMOVED | % REMOVED | 100.0% | 75% OR LESS | NO |
| FIRST FLOOR | 0'-0" | 0'-0" | - | | | |
| SECOND FLOOR | 83'-4" | 83'-4" | 100.0% | | | |
| THIRD FLOOR | 6'-10" | 6'-10" | 100.0% | | | |
| FOURTH FLOOR | 0'-0" | 0'-0" | - | | | |
| TOTAL | 90'-2" | 90'-2" | 100.0% | | | |

- NOTES**
- SEE SHEET G2.3 FOR FLOOR PLAN DIAGRAMS
 - FOR THE PURPOSES OF ARTICLE 10 SECTION 1005 (F), DEMOLITION SHALL BE DEFINED AS ANY ONE OF THE FOLLOWING:
 - REMOVAL OF MORE THAN 25 PERCENT OF THE SURFACE OF ALL EXTERNAL WALLS FACING A PUBLIC STREET(S); OR
 - REMOVAL OF MORE THAN 50 PERCENT OF ALL EXTERNAL WALLS FROM THEIR FUNCTION AS ALL EXTERNAL WALLS; OR
 - REMOVAL OF MORE THAN 25 PERCENT OF EXTERNAL WALLS FROM FUNCTION AS EITHER EXTERNAL OR INTERNAL WALLS; OR
 - REMOVAL OF MORE THAN 75 PERCENT OF THE BUILDING'S EXISTING INTERNAL STRUCTURAL FRAMEWORK OR FLOOR PLATES UNLESS THE CITY DETERMINES THAT SUCH REMOVAL IS THE ONLY FEASIBLE MEANS TO MEET THE STANDARDS FOR SEISMIC LOAD & FORCES OF THE LATEST ADOPTED VERSION OF THE SAN FRANCISCO BUILDING CODE AND THE STATE HISTORICAL BUILDING CODE.
 - IF REMOVAL AND REPLACEMENT OF ADDITIONAL BUILDING ELEMENTS CONSIDERED BEYOND REPAIR IS REQUIRED DURING CONSTRUCTION, CONTACT THE PLANNING DEPARTMENT IMMEDIATELY FOR REVIEW AND APPROVAL. THIS INCLUDES FLOOR FRAMING, SIDEWALLS AND OTHER STRUCTURAL MEMBERS NOT VISIBLE FROM THE PUBLIC RIGHT-OF-WAY. REMOVAL OF ELEMENTS BEYOND PERCENTAGES SUBMITTED ABOVE IS CONSIDERED A VIOLATION. IF REMOVAL IS BEYOND PERCENTAGES OUTLINED IN PLANNING CODE SECTION 1005, FURTHER ENVIRONMENTAL REVIEW BY THE PLANNING DEPARTMENT IS REQUIRED.



DAVID ARMOUR ARCHITECTURE
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(415) 440-2880



CULVER RESIDENCE
714 STEINER STREET, SAN FRANCISCO, CA 94117

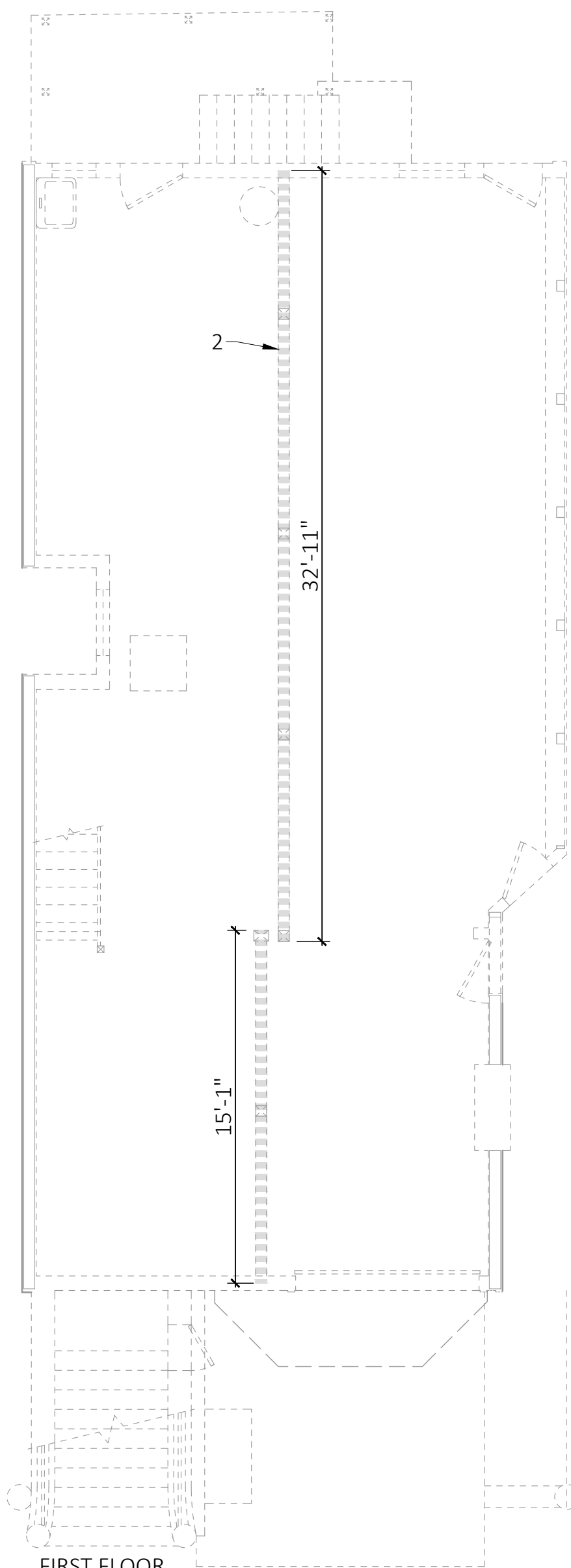
| | |
|-----------------|----------|
| ISSUANCE | DATE |
| CofA/VARIANCE | 05.26.21 |
| BUILDING PERMIT | 03.29.21 |
| MILLS ACT APP. | 05.26.21 |
| PLAN CHECK | 08.24.21 |
| RESPONSE | |

JOB # 2004

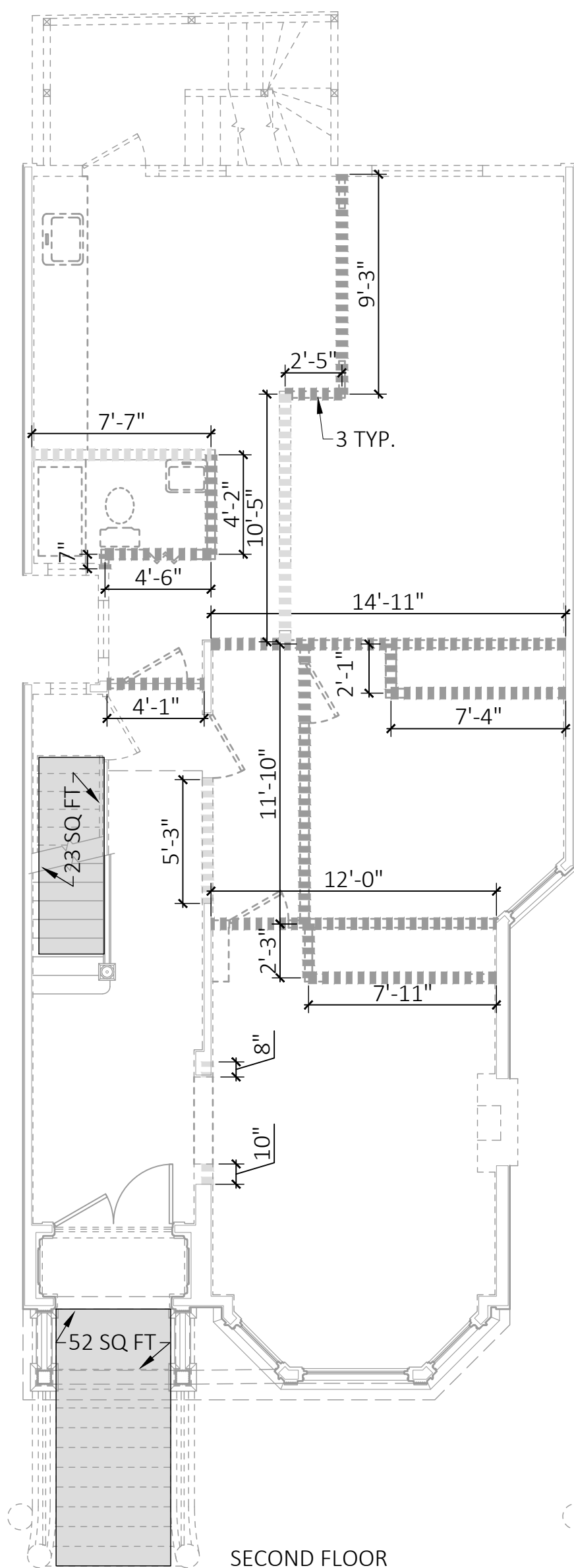
PLANNING CODE COMPLIANCE: ARTICLE 10 DEMOLITION CALCULATIONS

G2.2

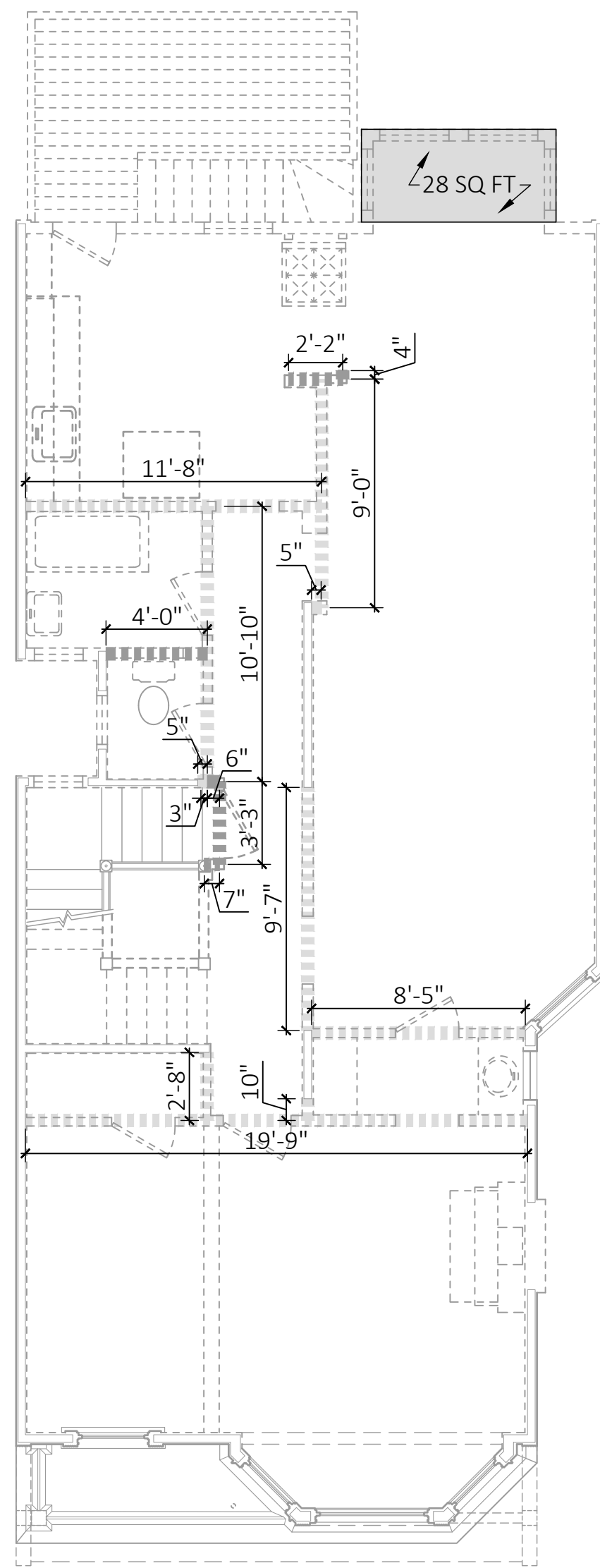
SCALE: N.T.S.



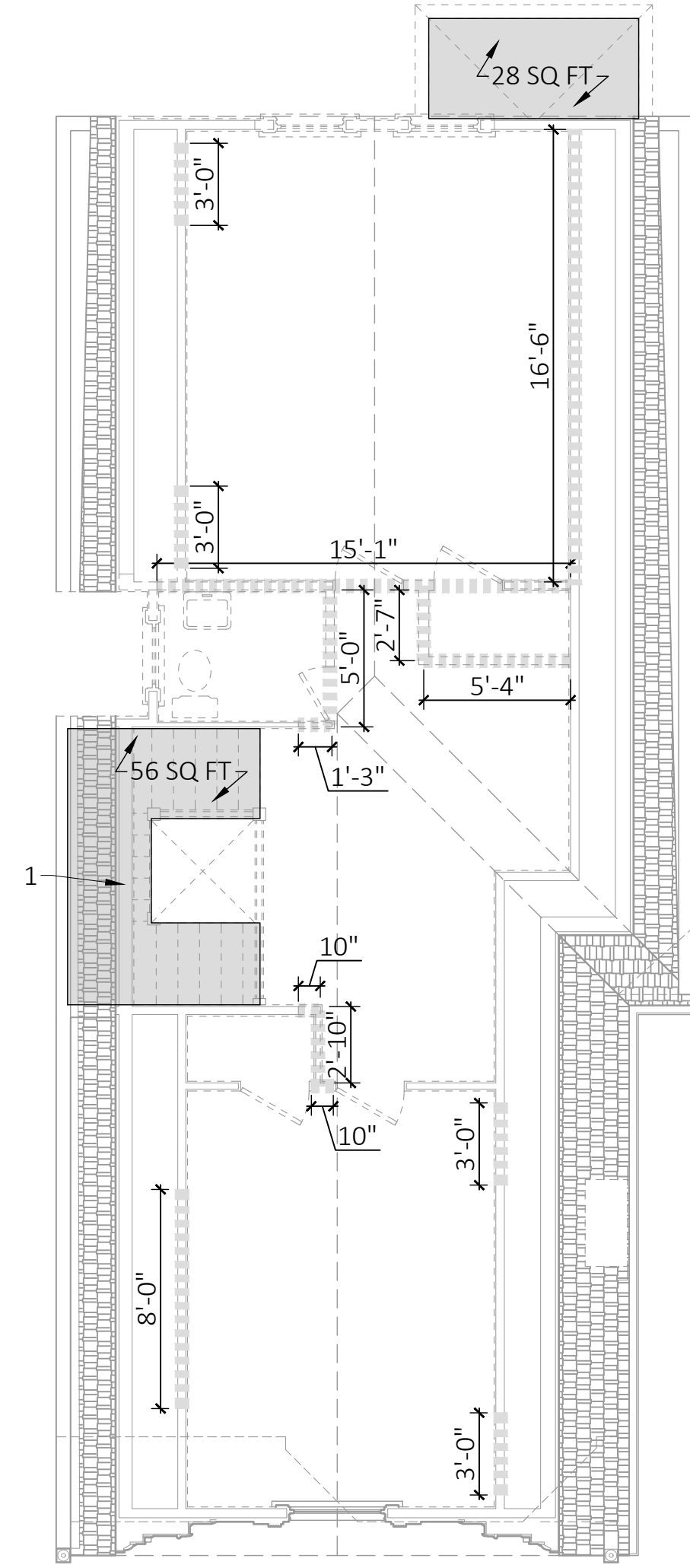
FIRST FLOOR
1005(f)(4) INTERNAL STRUCTURAL FRAMEWORK:
48'-0" REMOVED IN TOTAL (1894)
FLOOR PLATES: 0 SQ FT REMOVED



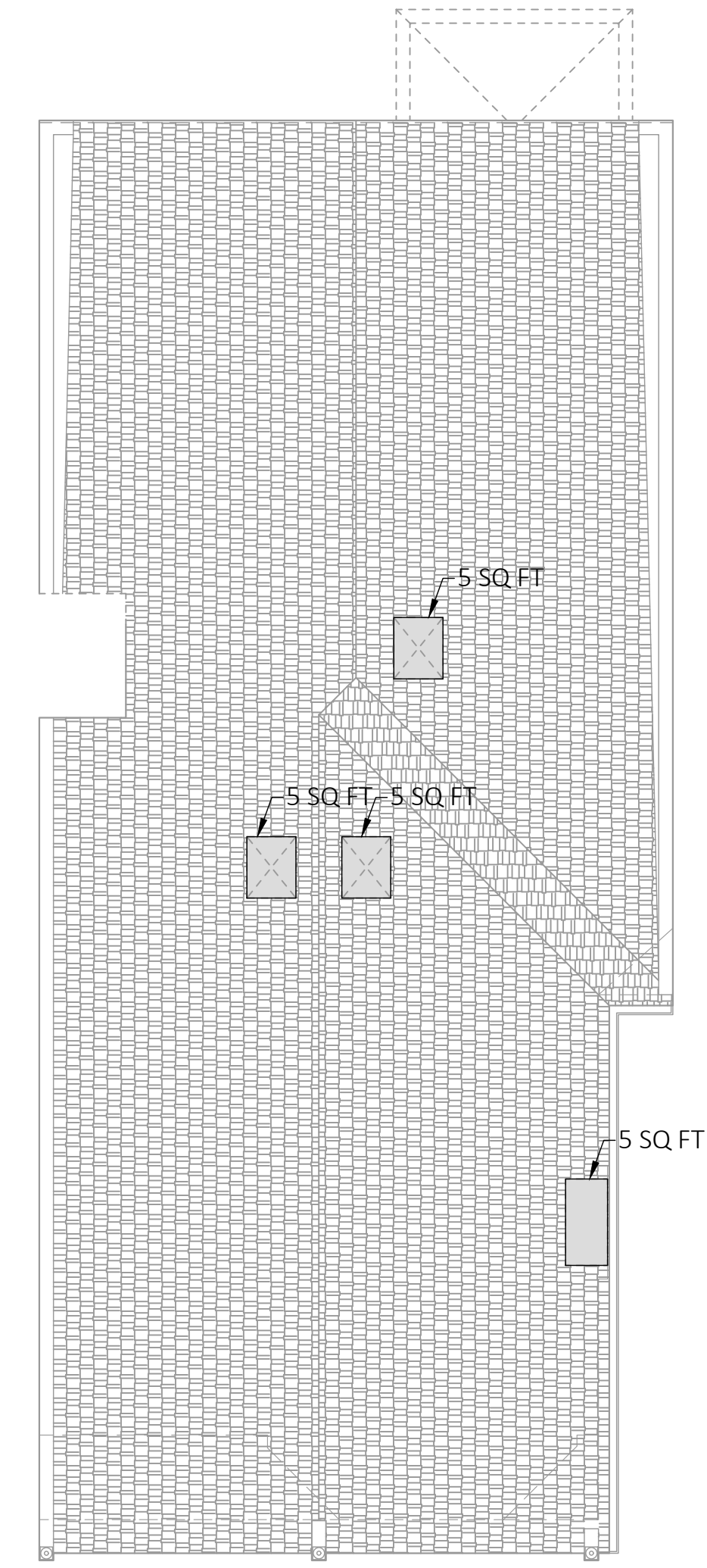
SECOND FLOOR
1005(f)(4) INTERNAL STRUCTURAL FRAMEWORK:
106'-7" REMOVED IN TOTAL
24'-9" (1894) + 83'-4" (1960s)
FLOOR PLATES: 75 SQ FT REMOVED



THIRD FLOOR
1005(f)(4) INTERNAL STRUCTURAL FRAMEWORK:
84'-8" REMOVED IN TOTAL
77'-10" (1894) + 6'-10" (1960s)
FLOOR PLATES: 28 SQ FT REMOVED



FOURTH FLOOR
1005(f)(4) INTERNAL STRUCTURAL FRAMEWORK:
70'-3" REMOVED IN TOTAL (1894)
FLOOR PLATES: 56 SQ FT REMOVED



ROOF
FLOOR PLATES: 20 SQ FT REMOVED

DRAWING LEGEND

- ARTICLE 10 SEC 1005(F)(4) HORIZONTAL ELEMENTS
- DEMOLISHED LINEAR FOOTAGE ELEMENTS
- DEMOLISHED ORIGINAL 1894 INTERIOR WALLS; LINEAR FOOTAGE ELEMENTS
- DEMOLISHED 1960S INTERIOR WALLS; LINEAR FOOTAGE ELEMENTS
- RETAINED LINEAR FOOTAGE ELEMENTS

NOTES

- 1 (E) ORIGINAL STAIR TO BE REMOVED DUE TO SUBSTANTIAL DAMAGE FROM 1960S ILLEGAL SUBDIVISION OF HOME - WILL BE REPLACED WITH A NEW STAIR TO MATCH ORIGINAL CONFIGURATION AND ARCHITECTURAL DETAILS
- 2 (E) POST AND BEAM SYSTEM TO BE REMOVED AND REPLACED WITH (N) LOAD-BEARING WALLS AS PART OF FULL SEISMIC UPGRADE OF STRUCTURE
- 3 ALL 1960S WALLS TO BE REMOVED, TO RESTORE ORIGINAL INTERIOR SPATIAL CONFIGURATION

415 | 7788726 | 1511 13TH STREET SAN FRANCISCO CALIFORNIA 94133
STRANDBERG ENGINEERING

August 4, 2021

City and County of San Francisco
Department of Building Inspection
49 South Van Ness Avenue
San Francisco, California 94103
dbi.specialinspections@sfgov.org

Structural Evaluation
Culver Residence – Chimney and Entry Stair Evaluation
714 Steiner Street, San Francisco, CA 94117
SFDBI PA #2021 – 0323 – 7149

To whom it may concern:

We visited the site on March 22, 2021 to observe the existing conditions of the above residence. The main areas that we would like to address are the following:

1. The existing brick chimney on the northwest side of the building that runs the full height of the building.
2. The existing entry stairs.
3. The existing framing supporting the second floor along south wall and central bearing line.

Our site visits included a review of the existing construction in which we observed exposed elements, and damages to finishes that might be indicative of larger structural issues. This report provides a summary of our findings and recommendations to demolish and rebuild-in-kind the chimney, entry stairs, and framing supporting the second floor. Replacing the chimney will avoid the danger the chimney poses to those in close proximity, such as neighbors, during a seismic event. Replacing the entry stairs will provide safe access to the main entrance. Replacing the first floor walls ensures framing is adequate, properly waterproofed, fire rated, and conforms to current seismic resistance standards.

I. Description of Existing Construction

CHIMNEY

The existing brick chimney appears to be made of a single course of unreinforced masonry, based on the exposed brick at the garage level, see attached Photo 1. Per the photo, the garage door was installed by demolishing a portion of the existing supporting brick. Photo also shows cracking along right side of chimney between brick and adjacent walls. The condition of the existing brick at the above floors were covered by finishes and inaccessible for observation.

ENTRY STAIRS

The existing entry stairs leading from the side walk to the main entry on the second floor appear to be unlevel, potentially creating a tripping hazard. The exposed stairs have evidence of staining where water typically pools and leaks to framing below, see Photos 2 – 4. Cracks and gaps are observed throughout indicating possible foundation settlement. The existing foundation appears to be unreinforced brick masonry with portions of concrete, indicating attempts to patch previous cracks and leaks. Some portions of stair construction appear to be flat 1x untreated wood framing currently supporting heavy stone steps and mortar bed above. The existing 1x untreated wood framing shows signs of water intrusion, water damage, buckling, and areas of dry rot. There is no waterproofing barrier between any of the untreated wood framing surfaces and concrete, or brick interface.

EXISTING FIRST FLOOR WALL FRAMING

The existing framing supporting the second floor are 4x6 posts and beams along the rear south wall and central bearing line. The exterior finish appears to have been applied directly to the existing 4x6 framing without adequate waterproofing. Existing structural framing shows signs of water intrusion, water damage, and areas of dry rot.

II. Inspection Findings and Recommendations

CHIMNEY

Based on our observations, the existing chimney does not appear to have adequate bracing to be laterally tied back to the building structure and shows signs of distress that we assume propagates throughout the chimney above.

It is our professional opinion that the existing unreinforced brick chimney poses a danger to anyone on site and within close proximity of the chimney during a seismic event. We recommend that the existing brick chimney be removed and replaced by wood framed chimney constructed per current applicable building codes and standards.

ENTRY STAIRS

Based on our observations, the water damage, existing cracks, and uneven stair treads, are signs indicative of foundation settlement and framing instability. Existing patchwork has been shown to be ineffective due to re-emerging signs of distress. Delaying action may compound the issues by allowing existing cracks to grow over time leading to further water intrusion and stair misalignment.

It is our professional opinion that the entry stairs should be demolished and rebuilt in order to provide safe access to the residence's main entry rather than continued patchwork. Other factors may also be contributing to the instability of the existing stair construction but cannot be determined at this time.

EXISTING FIRST FLOOR WALL FRAMING

Based on our observations, the existing framing has been minimally infilled and is now showing signs of water damage and dry rot.

It is our professional opinion that the existing framing along the rear south wall should be demolished and rebuilt in order to provide proper waterproofing and adequate fire rated construction that also conforms to current seismic resistance standards. For the central bearing line the existing beam and post system is inadequate per the current Code and should be replaced by our new engineered solution.

Photos provided below for reference.

Please do not hesitate to call 415-778-8726 if you have any questions regarding this report.

Best Regards,
David Strandberg
David Strandberg

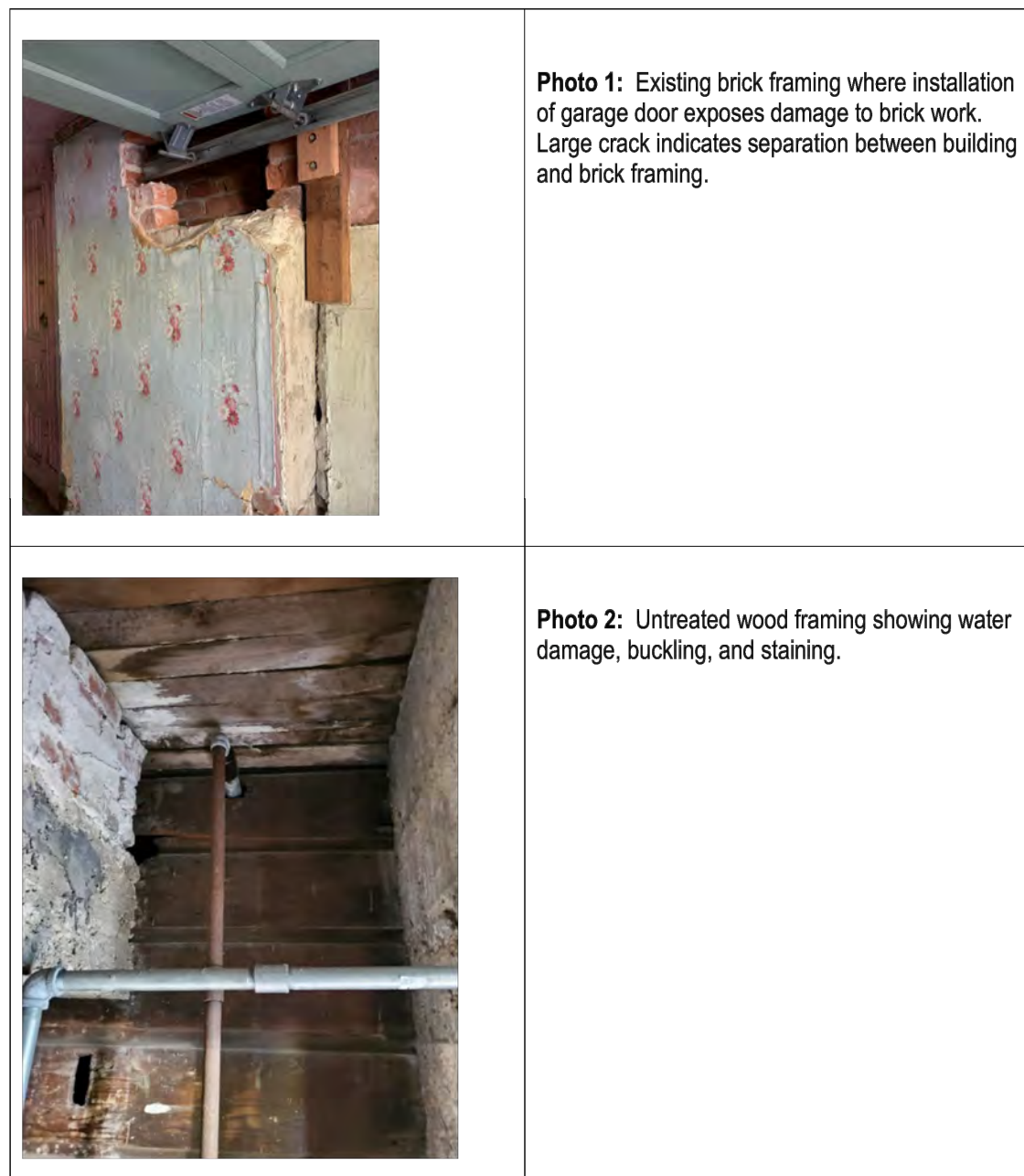


Photo 1: Existing brick framing where installation of garage door exposes damage to brick work. Large crack indicates separation between building and brick framing.



Photo 2: Untreated wood framing showing water damage, buckling, and staining.

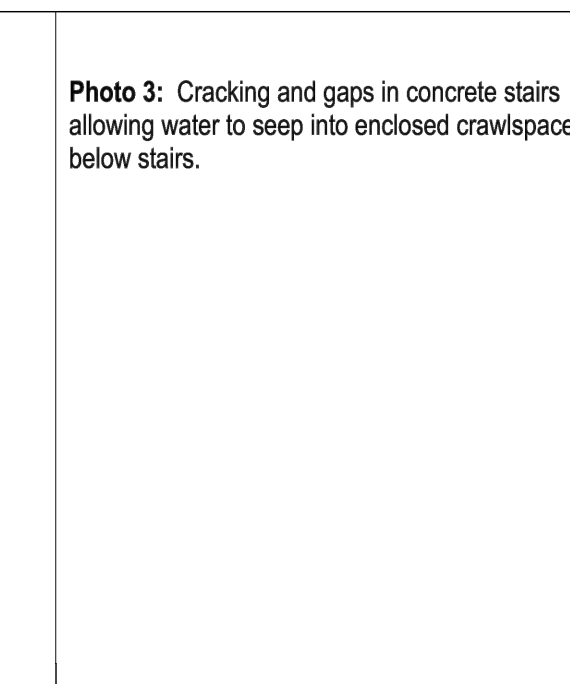


Photo 3: Cracking and gaps in concrete stairs allowing water to seep into enclosed crawlspace below stairs.

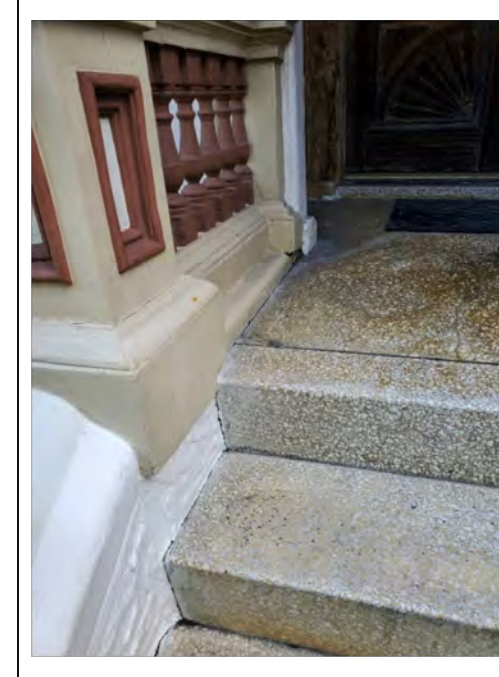


Photo 4: Cracking and gaps in concrete stairs allowing water to seep into enclosed crawlspace below stairs.



Photo 5: Existing first floor wall framing with water damage along south wall.



| | |
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| ISSUANCE | DATE |
| CofA/VARIANCE | 05.26.21 |
| BUILDING PERMIT | 03.29.21 |
| MILLS ACT APP. | 05.26.21 |
| PLAN CHECK | 08.24.21 |
| RESPONSE | |

JOB # 2004

PLANNING CODE COMPLIANCE: ARTICLE 10 DEMOLITION CALCULATIONS

G2.3

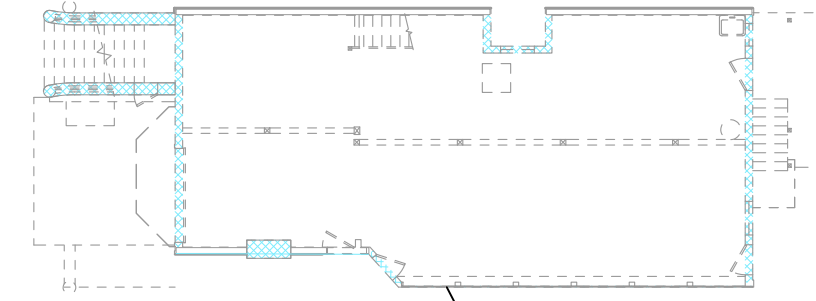
SCALE: N.T.S.



INTERIOR VIEW OF WATER DAMAGED SOUTH PROPERTY LINE WALL INSIDE (E) GARAGE

B1 - REMOVAL OF FRONT AND REAR FACADES
 (E) TOTAL LENGTH: 45'-2"
 TOTAL LENGTH REMOVED: 45'-2"

B2 - REMOVAL OF ALL EXTERIOR WALLS
 (E) TOTAL LENGTH: 166'-2"
 TOTAL LENGTH REMOVED: 80'-7"



SOUTH WALL TO BE DEMOLISHED AND REPLACED IN-KIND DUE TO WATER DAMAGE - NOT INCLUDED IN DEMOLITION CALCULATIONS PER SECTION 317 (b)(9)

WEST FACADE*
 (E) LENGTH: 25'-6"
 LENGTH REMOVED: 25'-6"
 * INCLUDES LIGHT WELL

SOUTH FACADE
 (E) LENGTH: 56'-8"
 LENGTH REMOVED: 14'-8"

EAST FACADE*
 (E) LENGTH: 24'-11"
 LENGTH REMOVED: 24'-11"
 * INCLUDES LIGHT WELL

NORTH FACADE
 (E) LENGTH: 59'-1"
 LENGTH REMOVED: 15'-6"

B1 + B2 EXTERIOR FACADE/WALL REMOVAL - LINEAL FOUNDATION MEASUREMENTS

SAN FRANCISCO PLANNING CODE SEC. 317(b)(2) DEFINITION "DEMOLITION OF RESIDENTIAL BUILDINGS"

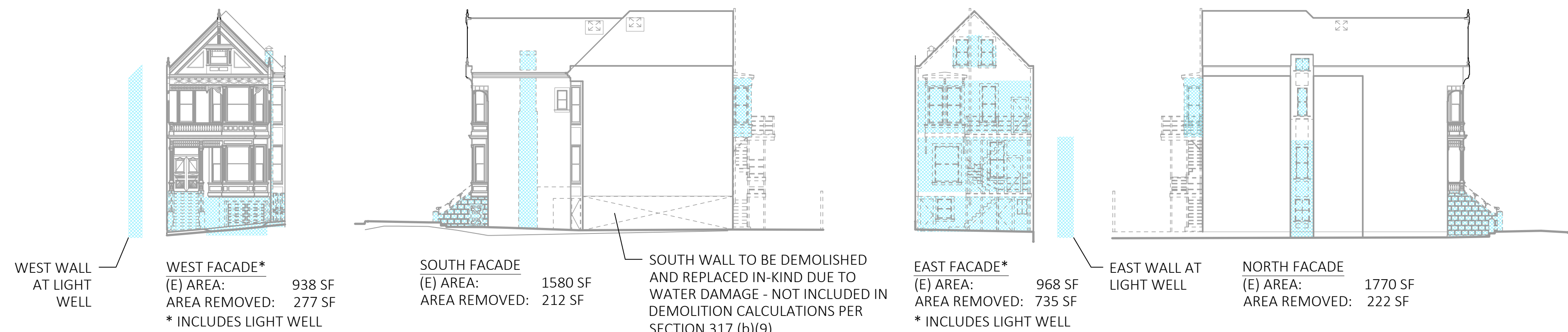
FOR THE PURPOSES OF THIS SECTION, "DEMOLITION OF RESIDENTIAL BUILDINGS" SHALL MEAN ANY OF THE FOLLOWING:

- (A) ANY WORK ON A RESIDENTIAL BUILDING FOR WHICH THE DEPARTMENT OF BUILDING INSPECTION DETERMINES THAT AN APPLICATION PERMIT IS REQUIRED, OR
- (B1) A MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT FACADE AND REAR FACADE AND
- (B2) ALSO PROPOSES THE REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS, MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL, OR
- (C1) A MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS AND
- (C2) MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE EXISTING BUILDING, AS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.
- (9) WHERE EXTERIOR ELEMENTS OF A BUILDING ARE REMOVED AND REPLACED FOR REPAIR OR MAINTENANCE, IN LIKE MATERIALS, WITH NO INCREASE IN THE EXTENT OF THE ELEMENT OR VOLUME OF THE BUILDING, SUCH REPLACEMENT SHALL NOT BE CONSIDERED REMOVAL FOR THE PURPOSES OF THIS SECTION.

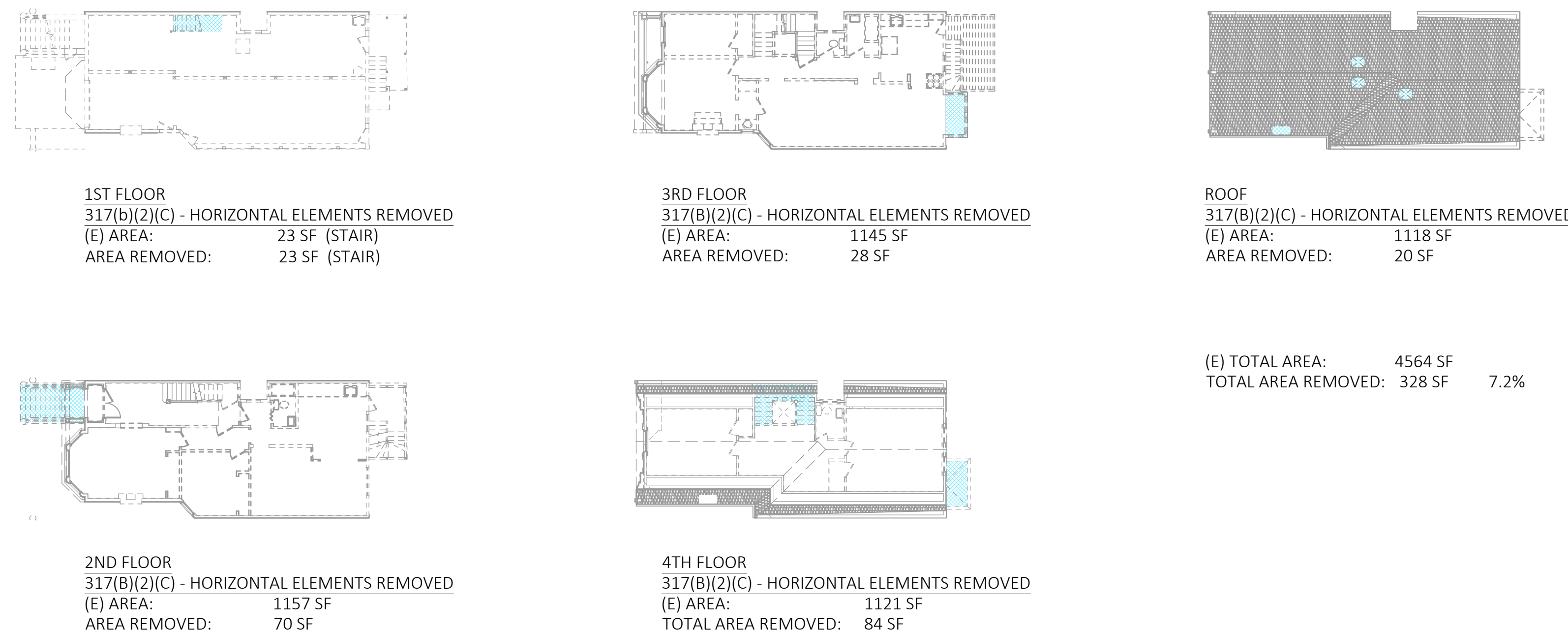
CONCLUSION: NOT A DEMOLITION

B1 IS GREATER THAN 50% BUT B2 IS LESS THAN 65%
 C1 IS LESS THAN 50%
 C2 IS LESS THAN 50%

| EXTERIOR FACADES - LINEAL FOUNDATION MEASUREMENTS | | | | | |
|--|---------------|----------------|-----------|-----------------|------|
| | (E) LENGTH | LENGTH REMOVED | % REMOVED | TOTAL % REMOVED | |
| B1 | FRONT FACADE* | 22'-11" | 22'-11" | 100% | 100% |
| | REAR FACADE | 22'-3" | 22'-3" | 100% | |
| | TOTAL | 45'-2" | 45'-2" | 100% | |
| * INCLUDES ANGLED WALL | | | | | |
| EXTERIOR WALLS - LINEAL FOUNDATION MEASUREMENTS | | | | | |
| | (E) LENGTH | LENGTH REMOVED | % REMOVED | TOTAL % REMOVED | |
| B2 | WEST FACADE* | 25'-6" | 25'-6" | 100% | 48% |
| | SOUTH FACADE | 56'-8" | 14'-8" | 26% | |
| | EAST FACADE** | 24'-11" | 24'-11" | 100% | |
| | NORTH FACADE | 59'-1" | 15'-6" | 20% | |
| | TOTAL | 166'-2" | 80'-7" | 48% | |
| * INCLUDES ANGLED WALL & LIGHT WELL ** INCLUDES LIGHT WELL | | | | | |
| VERTICAL ENVELOPE ELEMENTS - SURFACE AREA MEASUREMENTS | | | | | |
| | (E) AREA | AREA REMOVED | % REMOVED | TOTAL % REMOVED | |
| C1 | WEST FACADE* | 938 | 277 | 30% | 24% |
| | SOUTH FACADE | 1580 | 212 | 13% | |
| | EAST FACADE* | 968 | 735 | 76% | |
| | NORTH FACADE | 1770 | 22 | 1% | |
| | TOTAL | 5256 | 1246 | 24% | |
| * INCLUDES LIGHT WELL | | | | | |
| HORIZONTAL ENVELOPE ELEMENTS - SURFACE AREA MEASUREMENTS | | | | | |
| | (E) AREA | AREA REMOVED | % REMOVED | TOTAL % REMOVED | |
| C2 | FIRST FLOOR | 23 | 23 | 100% | 4.9% |
| | SECOND FLOOR | 1157 | 70 | 6% | |
| | THIRD FLOOR | 1145 | 28 | 2.4% | |
| | FOURTH FLOOR | 1121 | 84 | 7.5% | |
| | ROOF | 1118 | 20 | 1.8% | |
| | TOTAL | 4564 | 328 | 7.2% | |



C1 VERTICAL ENVELOPE ELEMENTS - SURFACE AREA MEASUREMENTS



C2 HORIZONTAL ENVELOPE ELEMENTS - LINEAL FOUNDATION MEASUREMENTS

LEGEND

- DEMOLISHED HORIZONTAL / VERTICAL ELEMENTS
- DEMOLISHED LINEAR FOOTAGE ELEMENTS
- RETAINED LINEAR FOOTAGE ELEMENTS



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| | |
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| ISSUANCE | DATE |
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| PLAN CHECK | 08.24.21 |
| RESPONSE | |

JOB # 2004

PLANNING CODE COMPLIANCE: ARTICLE 10 DEMOLITION CALCULATIONS

G2.4

SCALE: N.T.S.



October 6, 2020

RE: 714 Steiner – AB-028 Pre-application Plan review meeting summary

A pre-application meeting was conducted by video conference on July 17, 2020 and was attended by Mark Walls of SFDPI, Architect David Armour and Eric Jacobs of Gary Bell and Associates.

The plans that were submitted with the pre-application meeting request were reviewed. The findings of that meeting are included below as an amendment to the original pre-application meeting letter.

Subsequent to the July 17 meeting, the design was modified to conform with commentary received from the San Francisco Planning Department, leading to the removal of the garage and a revised first floor plan which places the two first floor bedrooms in a street-facing position, allowing for a code-compliant arrangement of the Emergency Escape and Rescue Openings (EEROS) per 2-19 CBC Section 1030. The revised floor plans follow this letter.

There will now only be one new rear-facing bedroom, located on the third floor. When the subject building was originally constructed, there were two rear-facing bedrooms on the third floor. The proposed design restores one of those original rear-facing bedrooms in its original location.

Given the proposed changes, would the provision of a fully sprinklered NFPA-13R sprinkler system, and fire-rated occupancy separation between the two units be an acceptable equivalency for compliant EEROS in a two-unit building? *Note: Retard separation also required at any interior common space. M/W*

10/26/2020 - Per discussion with Mark Walls, yes, an NFPA-13R sprinkler system is acceptable.

Thank you for your attention to this matter.

David Armour, Architect

Mark Walls, DBI
NOV 03 2020



June 19, 2020

October 1, 2020 – Amended with summary of pre-application meeting

RE: 714 Steiner – AB-028 Pre-application Plan review request

714 Steiner Street is a landmark, 4-story, Type V structure located on San Francisco's famous Postcard Row in the Alamo Square Landmark District. The structure was originally built in 1894 as a single-family home but was converted in 1960 to two dwelling units. The existing building consists of unrated construction and is not fire sprinklered. The structure is designated as a Category "A" Historic Resource under CEQA and is eligible for review under the California Historic Building Code (CHBC).

The lot dimensions are 23'-3" wide x 75' long and currently there is a 9' 6"-1/4" deep rear yard open space. The original single-family dwelling configuration featured 3 rear-facing bedrooms and two front-facing bedrooms. The current two-unit configuration consists of five front-facing bedrooms and one rear-facing bedroom.

The proposed project involves the relocation of the second-floor dwelling unit to the first floor to restore the original single-family configuration on the upper three floors. The relocated unit will be accessed from the public way by an open space on the south side of the house. *The first floor unit has two rear-facing bedrooms that open onto a 10'-9 5/8" deep rear yard.* The project will include new fire-rated construction for code-compliant occupancy separation between the individual dwelling units as well as between the garage and the dwelling units and the entire structure will be fully sprinklered to NFPA 13. The rear wall of the first floor will be fire-rated and fire sprinklers will be installed above the exterior doors on the first floor that open onto the rear yard. *Fire Construction & Fire Sprinkler protection required above all openings at the building's rear wall. M/W*

1. Is it possible to use the California Historic Building Code for the relocated unit on the first floor? If so, is the attached configuration acceptable? Regarding the 36" minimum width of the Exit Discharge as required by Section 1028.4.1 of the SFBC, would Section 8502.2 of the California Historic Building Code permit an exit discharge width of 32'-3/4" over a travel distance of 17'-7" of which a 3'-8" portion has a 29" width? The exit discharge will serve an individual dwelling unit with an occupant load of four on the first story of a NFPA-13, fully sprinklered two-unit building.

10/1/2020 - Per the pre-app meeting conducted July 17, 2020 with Mark Walls, yes, it is acceptable to apply the California Historic Building Code to the project. *M/W*

2. I understand that, per code, emergency escape and rescue openings are required below the fourth floor.

I further understand that Section 1030.1 of the SFBC - Emergency Escape and Rescue Opening (EERO) requirement as well as SFDPI Information Sheet EG-02 modifies the 50' minimum depth requirement to 25' for yards that do not open to public way. The existing rear yard depth is 9'-6 1/4", the proposed rear yard depth is 10'-9 5/8". Would the provision of a fully sprinklered NFPA-13 sprinkler system, and fire-rated occupancy separation between the two units be an acceptable equivalency for compliant EEROS in a two-unit building?

10/1/2020 - Per the pre-app meeting conducted July 17, 2020 with Mark Walls, yes, it is acceptable to locate new bedrooms at the rear of the subject property under the following conditions:

- One-hour rated separation between the individual dwelling units
- Installation of NFPA-13 sprinkler system.

Note: There are no new bedrooms at the rear. The updated pre-app dated 10-6-20, place one existing bedroom to remain at the rear on the 3rd floor. See first page for update fire sprinkler system. M/W

Signed:

Mark Walls
Senior building Inspector
San Francisco Department of Building Inspection

M. Walls
Mark Walls, DBI
NOV 03 2020

(At the request of SFDPI Reviewer Mark Walls we ask that Preservation Planning acknowledge this pre-application scope and the landmark status of the building. SF PLANNING involvement is for visibility only as this is an active project, under review and which will be heard by the SFHPC when approval has been recommended by staff)

Elizabeth Gordon-Jonckheer
Principal Planner
Northwest team and Historic Preservation, Current Planning Division
Elizabeth Jonckheer 10/26/2020

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| EXPOSURE, VENTILATION (CBC 1202), & LIGHTING (CBC 1204) TABLE | | | | | | |
|---|-------------|-------------------|-------------|------------|------------|------------|
| LOCATION | ROOM NAME | ROOM AREA (SQ FT) | VENTILATION | | LIGHTING | |
| | | | REQ'D AREA | PRV'D AREA | REQ'D AREA | PRV'D AREA |
| 106 | BEDROOM 1 | 126.09 SF | 5.04 SF | 11.63 SF | 10.09 SF | 18.60 SF |
| 108 | BEDROOM 2 | 145.39 SF | 5.81 SF | 8.25 SF | 11.63 SF | 13.62 SF |
| 112 | FAMILY ROOM | 161.79 SF | 6.47 SF | 33.50 SF | 12.94 SF | 24.52 SF |
| 202 | LIVING ROOM | 194.50 SF | 7.78 SF | 31.46 SF | 15.56 SF | 82.16 SF |
| 204 | DINING ROOM | 225.05 SF | 9.00 SF | 10.50 SF | 18.00 SF | 16.08 SF |
| 302 | BEDROOM 1 | 242.01 SF | 8.85 SF | 36.54 SF | 17.70 SF | 57.24 SF |
| 306 | BEDROOM 2 | 100.00 SF | 4.73 SF | 10.50 SF | 9.46 SF | 16.08 SF |
| 309 | BEDROOM 3 | 215.52 SF | 8.62 SF | 40.63 SF | 17.24 SF | 97.77 SF |
| 402 | BEDROOM 4 | 170.05 SF | 6.80 SF | 4.69 SF | 13.60 SF | 7.37 SF |
| 403 | BEDROOM 5 | 220.52 SF | 8.82 SF | 11.75 SF | 17.64 SF | 29.64 SF |

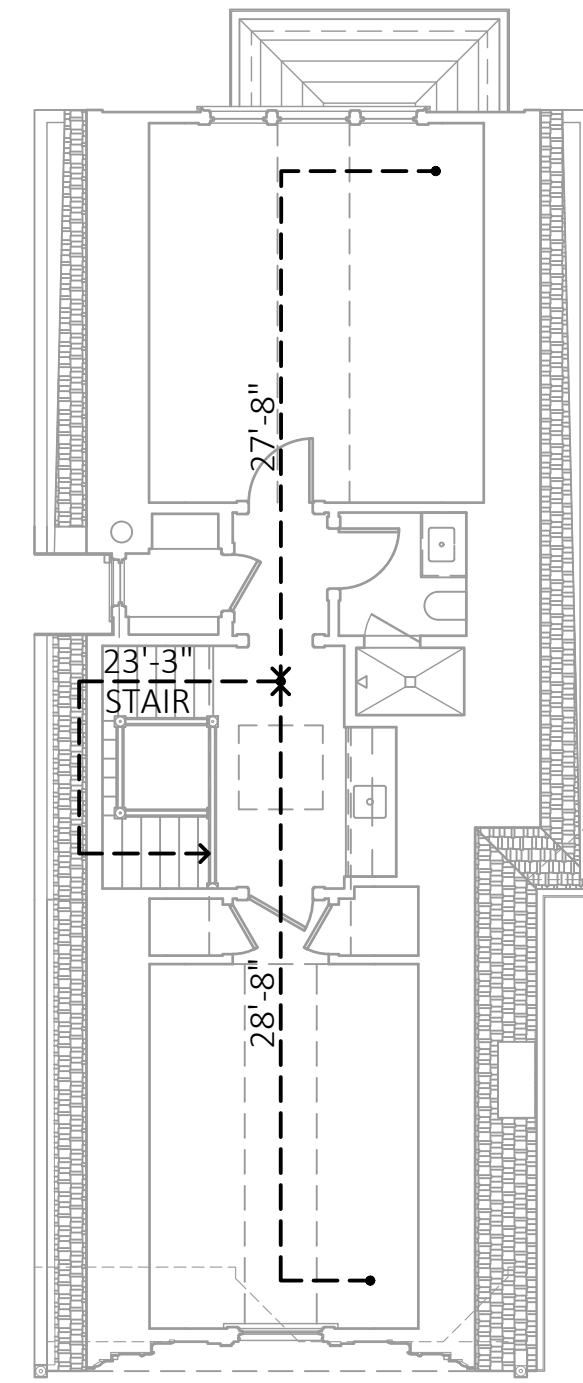
NOTE:
1. BEDROOM 1, ROOM 106, MEETS THE MINIMUM EXPOSURE REQUIREMENTS: FLOOR AREA IS GREATER THAN 120 SQ FT, NATURAL LIGHTING IS 8.51 SQ FT GREATER THAN REQUIRED MINIMUM.



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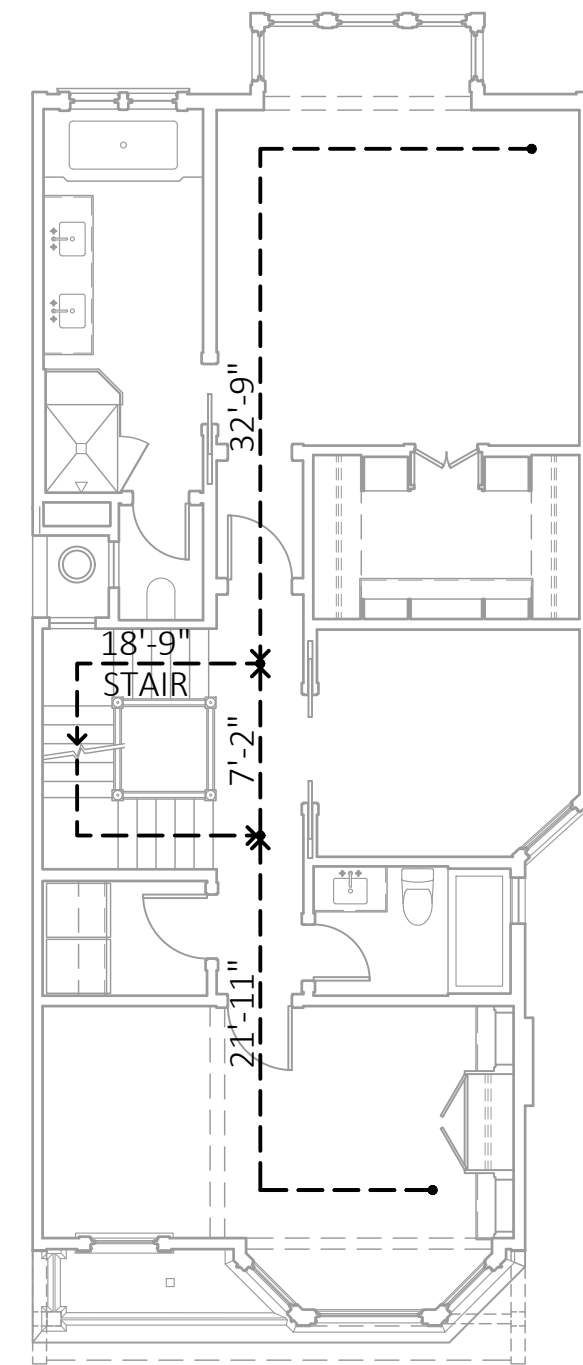
4TH FLOOR
EXIT ACCESS TRAVEL DISTANCE CALCULATED BY FLOOR:

| | |
|---------|----------------|
| FOURTH | 28'-8" |
| STAIR | 23'-3" |
| THIRD | 7'-2" |
| SECOND | 18'-9" |
| SECOND | 5'-0" + 6'-10" |
| TOTAL = | 89'-8" |

PER CBC TABLE 1006.2.2 EXCEPTION 1: EXIT ACCESS TRAVEL DISTANCE FOR BUILDINGS WITH ONE EXIT: 125'

ACTUAL: 89'-8" < 125' MAX

CONCLUSION: ALLOWABLE W/SPRINKLER



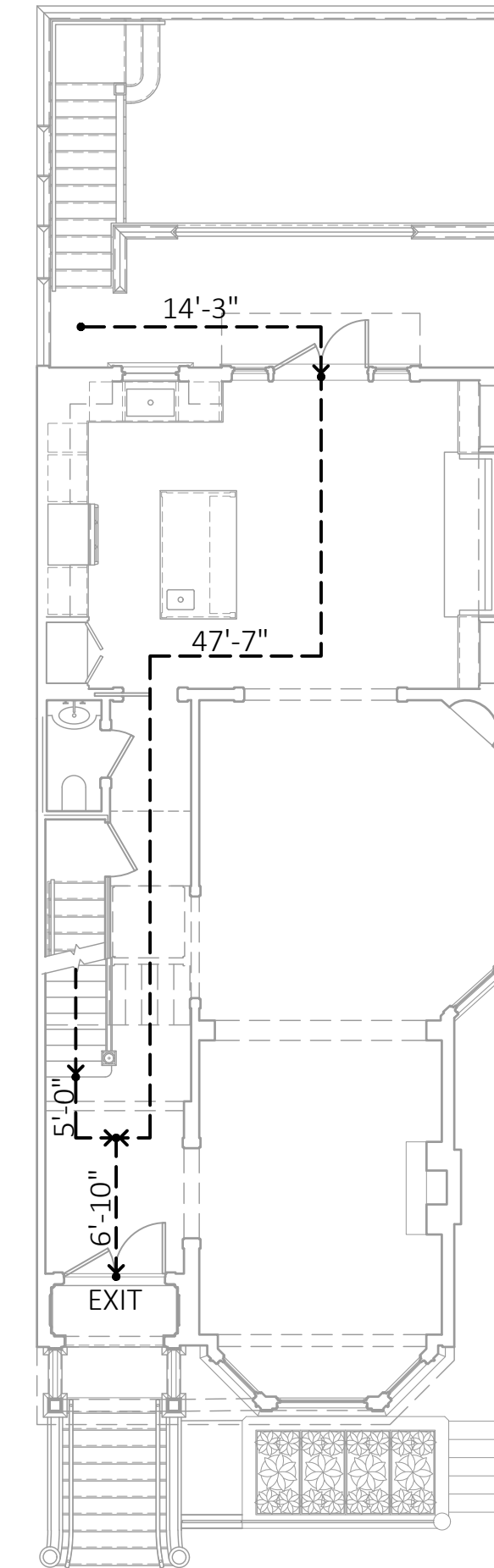
3RD FLOOR
EXIT ACCESS TRAVEL DISTANCE CALCULATED BY FLOOR:

| | |
|---------|----------------|
| THIRD | 32'-9" |
| STAIR | 18'-9" |
| SECOND | 5'-0" + 6'-10" |
| TOTAL = | 63'-4" |

PER CBC TABLE 1006.2.2 EXCEPTION 1: EXIT ACCESS TRAVEL DISTANCE FOR BUILDINGS WITH ONE EXIT: 125'

ACTUAL: 63'-4" < 125' MAX

CONCLUSION: ALLOWABLE W/SPRINKLER



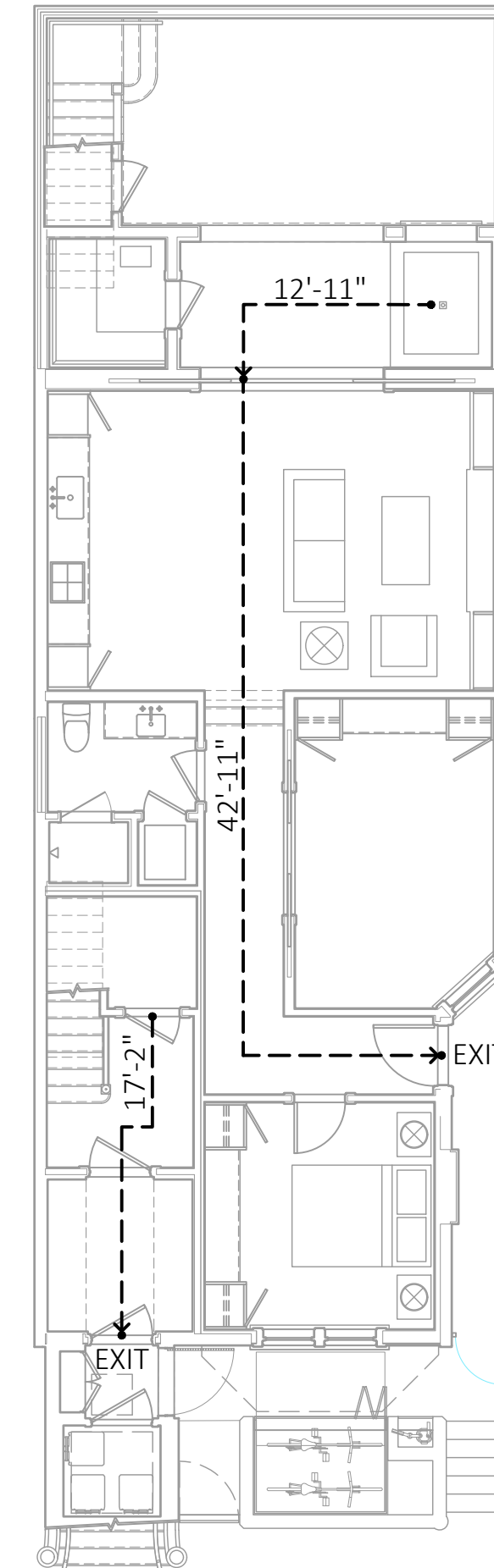
2ND FLOOR
EXIT ACCESS TRAVEL DISTANCE CALCULATED BY FLOOR:

| | |
|--------|-------------------------|
| SECOND | 14'-3" |
| FIRST | 47'-7" + 5'-0" + 6'-10" |
| TOTAL | 68'-11" |

PER CBC TABLE 1006.2.2 EXCEPTION 1: EXIT ACCESS TRAVEL DISTANCE FOR BUILDINGS WITH ONE EXIT: 125'

ACTUAL: 68'-11" < 125' MAX

CONCLUSION: ALLOWABLE W/SPRINKLER



1ST FLOOR
EXIT ACCESS TRAVEL DISTANCE CALCULATED BY FLOOR:

| | |
|-------|-------------------|
| FIRST | 12'-11" + 42'-11" |
| TOTAL | = 55'-10" |

PER CBC TABLE 1006.2.2 EXCEPTION 1: EXIT ACCESS TRAVEL DISTANCE FOR BUILDINGS WITH ONE EXIT: 125'

ACTUAL: 55'-10" < 125' MAX

CONCLUSION: ALLOWABLE W/SPRINKLER

EGRESS DIAGRAMS
FOR REFERENCE ONLY

| | |
|-----------------|----------|
| ISSUANCE | DATE |
| CofA/VARIANCE | 05.26.20 |
| BUILDING PERMIT | 03.29.21 |
| MILLS ACT APP. | 05.26.21 |
| PLAN CHECK | 08.24.21 |
| RESPONSE | |

JOB # 2004

BLDG CODE COMPLIANCE-EGRESS DIAGRAMS AND LIGHT AND VENT REQUIREMENTS

G2.5

SCALE: N.T.S.

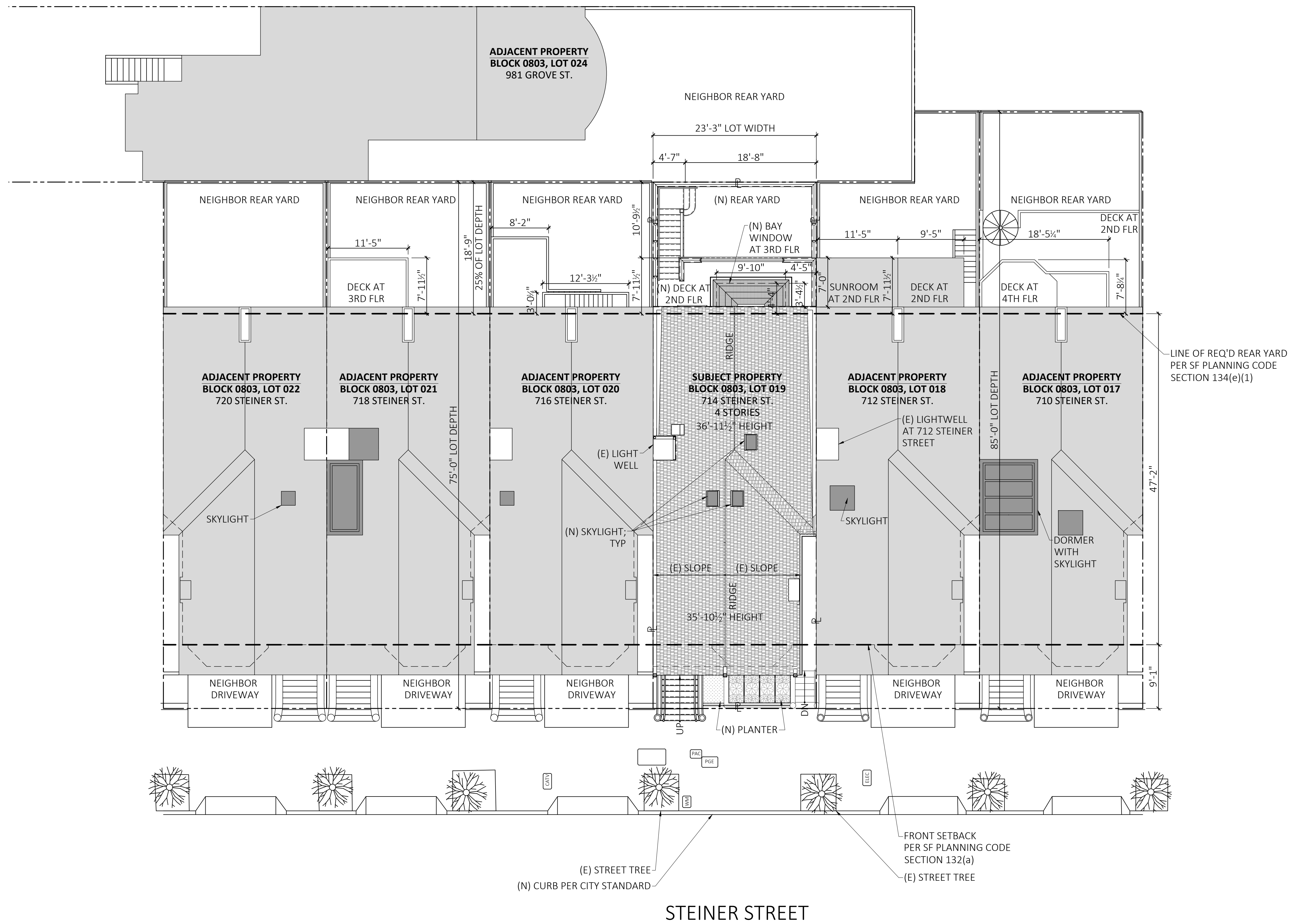
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GS5: San Francisco Green Building Submittal Form for Residential Alteration + Addition Projects

Form version: March 11, 2020 (For permit applications January 2020 - December 2022)

| INSTRUCTIONS: | | | | OTHER RESIDENTIAL ALTERATIONS + ADDITIONS | VERIFICATION |
|--|---|---|---|--|---|
| 1. Fill out the project information in the Verification box at the right. 2. Submittal must be a minimum of 11" x 17". 3. This form is for permit applications submitted January 2020 through December 2022. | | | | adds any amount of conditioned area, volume, or size | Indicate below who is responsible for ensuring green building requirements are met. Projects that increase total conditioned floor area by ≥1,000 sq. ft. are required to have a Green Building Compliance Professional of Record as described in Administrative Bulletin 93. For projects that increase total conditioned floor area by <1,000 sq. ft., the applicant or design professional may sign below, and no license or special qualifications are required. FINAL COMPLIANCE VERIFICATION form will be required prior to Certificate of Completion CULVER RESIDENCE PROJECT NAME 0803/019 BLOCK/LOT 714 STEINER STREET ADDRESS R-3 PRIMARY OCCUPANCY 3,610 SQ FT GROSS BUILDING AREA 909 SQ FT INCREASE IN CONDITIONED FLOOR AREA <i>I have been retained by the project sponsor to verify that approved construction documents and construction fulfill the requirements of San Francisco Green Building Code. It is my professional opinion that the requirements of the San Francisco Green Building Code will be met. I will notify the Department of Building Inspection if the project will, for any reason, not substantially comply with these requirements, if I am no longer the Green Building Compliance Professional of Record for the project, or if I am otherwise no longer responsible for assuring the compliance of the project with the San Francisco Green Building Code.</i> LICENSED PROFESSIONAL (sign & date) May be signed by applicant when <1,000 sq. ft. is added. AFFIX STAMP BELOW: |
| TITLE | SOURCE OF REQUIREMENT | DESCRIPTION OF REQUIREMENT | | if applicable | |
| RESIDENTIAL | GRADING & PAVING | CALGreen 4.106.3 | Show how surface drainage (grading, swales, drains, retention areas) will keep surface water from entering the building. | if applicable | |
| RESIDENTIAL | RODENT PROOFING | CALGreen 4.406.1 | Seal around pipe, cable, conduit, and other openings in exterior walls with cement mortar or DBI-approved similar method. | • | |
| RESIDENTIAL | FIREPLACES & WOODSTOVES | CALGreen 4.503.1 | Install only direct-vent or sealed-combustion, EPA Phase II-compliant appliances. | • | |
| RESIDENTIAL | CAPILLARY BREAK, SLAB ON GRADE | CALGreen 4.505.2 | Slab on grade foundation requiring vapor retarder also requires a capillary break such as: 4 inches of base 1/2-inch aggregate under retarder; slab design specified by licensed professional. | • | |
| RESIDENTIAL | MOISTURE CONTENT | CALGreen 4.505.3 | Wall + floor <19% moisture content before enclosure. | • | |
| RESIDENTIAL | BATHROOM EXHAUST | CALGreen 4.506.1 | Must be ENERGY STAR compliant, ducted to building exterior, and its humidistat shall be capable of adjusting between <50% to >80% (humidistat may be separate component). | • | |
| MATERIAL EMISSIONS | LOW-EMITTING MATERIALS | CALGreen 4.504.2.1-5, SFGBC 4.103.3.2 | Use products that comply with the emission limit requirements of 4.504.2.1-5, 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, resilient flooring (80% of area), and composite wood products. | • | |
| WATER | INDOOR WATER USE REDUCTION | CALGreen 4.303.1, SF Housing Code sec.12A10 | Meet flush/flow requirements for: toilets (1.28 gpf); urinals (0.125 gpf wall, 0.5 gpf floor); showerheads (1.8 gpm); lavatories (1.2 gpm private, 0.5 gpm public/common); kitchen faucets (1.8 gpm); wash fountains (1.8 gpm); metering faucets (0.2 gpc); food waste disposers (1 gpm/8 gpm). Residential major improvement projects must upgrade all non-compliant fixtures per SF Housing Code sec.12A10. | • | |
| WATER | WATER-EFFICIENT IRRIGATION | Administrative Code ch.63 | If modified landscape area is ≥1,000 sq.ft., use low water use plants or climate appropriate plants, restrict turf areas and comply with Model Water Efficient Landscape Ordinance restrictions by calculated ETAF of ≤.55 or by prescriptive compliance for projects with ≤2,500 sq.ft. of landscape area. | • | |
| ENERGY | ENERGY EFFICIENCY | CA Energy Code | Comply with all provisions of the CA Energy Code. | • | |
| PARKING | BICYCLE PARKING | Planning Code sec.155.1-2 | Provide short- and long-term bike parking to meet requirements of SF Planning Code sec.155.1-2. | if applicable | |
| RESOURCE RECOVERY | RECYCLING BY OCCUPANTS | SF Building Code 106A.3.3, CalGreen 5.410.1, AB-088 | Provide adequate space and equal access for storage, collection, and loading of compostable, recyclable and landfill materials. | • | |
| RESOURCE RECOVERY | CONSTRUCTION & DEMOLITION (C&D) DISCARDS MANAGEMENT | Environment Code ch. 14 SFGBC 4.103.2.3 CalGreen 4.408.2, 4.408.5 | Construction Discards Management - 100% of mixed debris must be taken by a Registered Transporter to a Registered facility and processed for recycling. Demonstrate ≥65% recovery. See www.dbi.org for details. | • | |
| HVAC | HVAC INSTALLER QUALS | CALGreen 4.702.1 | Installers must be trained in best practices. | • | |
| HVAC | HVAC DESIGN | CALGreen 4.507.2 | HVAC shall be designed to ACCA Manual J, D, and S. | • | |
| GOOD NEIGHBOR | BIRD-SAFE BUILDINGS | Planning Code sec.139 | Glass facades and bird hazards facing and/or near Urban Bird Refuges may need to treat their glass for opacity. | • | |
| GOOD NEIGHBOR | TOBACCO SMOKE CONTROL | Health Code art.19F | Prohibit smoking within 10 feet of building entries, air intakes, and operable windows and enclosed common areas. | • | |
| POLLUTION PREVENTION | STORMWATER CONTROL PLAN | Public Works Code art.4.2 sec.147 | Projects disturbing ≥5,000 sq.ft. in combined or separate sewer areas, or replacing ≥2,500 impervious sq.ft. in separate sewer area, must implement a Stormwater Control Plan meeting SFPUC Stormwater Management Requirements. | if project extends outside envelope | |
| POLLUTION PREVENTION | CONSTRUCTION SITE RUNOFF | Public Works Code art.4.2 sec.146 | Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices. | if project extends outside envelope | |
| INDOOR AIR QUALITY | AIR FILTRATION (CONSTRUCTION) | CALGreen 4.504.1 | Seal permanent HVAC ducts/equipment stored onsite before installation. | • | |

| <b style="writing-mode: vertical-rl; transform: rotate(180deg);">FOR YOUR INFORMATION: INDOOR WATER EFFICIENCY | <p style="text-align: center; font-weight: bold;">Indoor Water Efficiency</p> <p style="font-size: small; text-align: center;">Each fixture must not exceed CALGreen 4.303 maximum flow rates:</p> <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th style="text-align: left;">FIXTURE TYPE</th> <th style="text-align: left;">MAXIMUM FIXTURE FLOW RATE</th> </tr> </thead> <tbody> <tr> <td>Showerheads²</td> <td>1.8 gpm @ 80 psi</td> </tr> <tr> <td>Lavatory Faucets: residential</td> <td>1.2 gpm @ 60 psi</td> </tr> <tr> <td>Kitchen Faucets</td> <td>1.8 gpm @ 60 psi default</td> </tr> <tr> <td>Wash Fountains</td> <td>1.8 gpm / 20 [rim space (inches) @ 60 psi]</td> </tr> <tr> <td>Metering Faucets</td> <td>.20 gallons per cycle</td> </tr> <tr> <td>Tank-type water closets</td> <td>1.28 gallons / flush¹ and EPA WaterSense Certified</td> </tr> <tr> <td>Flushometer valve water closets</td> <td>1.28 gallons / flush¹</td> </tr> <tr> <td>Urinals</td> <td>Wall mount: 0.125 gallons / flush Floor mount: 0.5 gallons / flush</td> </tr> </tbody> </table> | FIXTURE TYPE | MAXIMUM FIXTURE FLOW RATE | Showerheads ² | 1.8 gpm @ 80 psi | Lavatory Faucets: residential | 1.2 gpm @ 60 psi | Kitchen Faucets | 1.8 gpm @ 60 psi default | Wash Fountains | 1.8 gpm / 20 [rim space (inches) @ 60 psi] | Metering Faucets | .20 gallons per cycle | Tank-type water closets | 1.28 gallons / flush ¹ and EPA WaterSense Certified | Flushometer valve water closets | 1.28 gallons / flush ¹ | Urinals | Wall mount: 0.125 gallons / flush Floor mount: 0.5 gallons / flush | <p style="font-size: x-small;">NOTES:</p> <ol style="list-style-type: none"> For dual flush toilets, effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. The referenced standard is ASME A112.19.14 and USEPA WaterSense Tank-Type High Efficiency Toilet Specification – 1.28 gal (4.8L) The combined flow rate of all showerheads in one shower stall shall not exceed the maximum flow rate for one showerhead, or the shower shall be designed to allow only one showerhead to be in operation at a time (CALGreen 5.303.2.1) | <p style="text-align: center; font-weight: bold;">Water Efficiency of Existing Non-Compliant Fixtures</p> <p style="font-size: x-small;">All fixtures that are not compliant with the San Francisco Commercial Water Conservation Ordinance that serve or are located within the project area must be replaced with fixtures or fittings meeting the maximum flow rates and standards referenced above. For more information, see the Commercial Water Conservation Program Brochure, available at SFDBI.org.</p> <p style="font-size: x-small;">NON-COMPLIANT PLUMBING FIXTURES INCLUDE:</p> <ol style="list-style-type: none"> Any toilet manufactured to use more than 1.6 gallons/flush Any urinal manufactured to use more than 1 gallon/flush Any showerhead manufactured to have a flow capacity of more than 2.5 gpm Any interior faucet that emits more than 2.2 gpm <p style="font-size: x-small;">Exceptions to this requirement are limited to situations where replacement of fixture(s) would detract from the historic integrity of the building, as determined by the Department of Building Inspection pursuant to San Francisco Building Code Chapter 13A.</p> |
|--|--|--------------|--|--------------------------|------------------|-------------------------------|------------------|-----------------|--------------------------|----------------|--|------------------|-----------------------|-------------------------|--|---------------------------------|-----------------------------------|---------|---|---|--|
| FIXTURE TYPE | MAXIMUM FIXTURE FLOW RATE | | | | | | | | | | | | | | | | | | | | |
| Showerheads ² | 1.8 gpm @ 80 psi | | | | | | | | | | | | | | | | | | | | |
| Lavatory Faucets: residential | 1.2 gpm @ 60 psi | | | | | | | | | | | | | | | | | | | | |
| Kitchen Faucets | 1.8 gpm @ 60 psi default | | | | | | | | | | | | | | | | | | | | |
| Wash Fountains | 1.8 gpm / 20 [rim space (inches) @ 60 psi] | | | | | | | | | | | | | | | | | | | | |
| Metering Faucets | .20 gallons per cycle | | | | | | | | | | | | | | | | | | | | |
| Tank-type water closets | 1.28 gallons / flush ¹ and EPA WaterSense Certified | | | | | | | | | | | | | | | | | | | | |
| Flushometer valve water closets | 1.28 gallons / flush ¹ | | | | | | | | | | | | | | | | | | | | |
| Urinals | Wall mount: 0.125 gallons / flush Floor mount: 0.5 gallons / flush | | | | | | | | | | | | | | | | | | | | |
| | | | <p style="font-size: x-small;">GREEN BUILDING COMPLIANCE PROFESSIONAL (name & contact phone #)</p> <hr/> <p style="font-size: x-small;">FIRM</p> <p><input type="checkbox"/> I am a LEED Accredited Professional</p> <p><input type="checkbox"/> I am a GreenPoint Rater</p> <p><input type="checkbox"/> I am an ICC Certified CALGreen Inspector</p> <hr/> <p style="font-size: x-small;">GREEN BUILDING COMPLIANCE PROFESSIONAL (sign & date)</p> <p style="font-size: x-small;">Signature by a professional holding at least one of the above certifications is required. If the Licensed Professional does not hold a certification for green design and/or inspection, this section may be completed by another party who will verify applicable green building requirements are met.</p> | | | | | | | | | | | | | | | | | | |

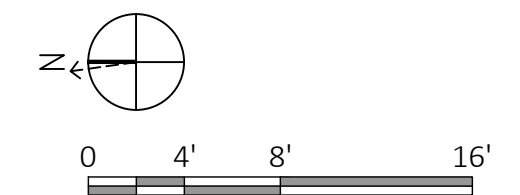


- GENERAL NOTES**
- SEE PROPOSED FIRST FLOOR PLAN ON SHEET A1.1 FOR LANDSCAPE DIMENSIONS

SAN FRANCISCO PLANNING CODE SECTION 134(e)(1) TABLE

| NET FRONT SETBACK AREA | PERMEABLE AREA PROVIDED | LANDSCAPE AREA PROVIDED |
|------------------------|-------------------------|-------------------------|
| 139 SQ. FT. | 73 SQ. FT. (53%) | 35 SQ. FT. (25%) |

SITE PLAN - PROPOSED 1
1/8" = 1'-0"



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| ISSUANCE | DATE |
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| BUILDING PERMIT | 03.29.21 |
| MILLS ACT APP. | 05.26.21 |
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| RESPONCE | |

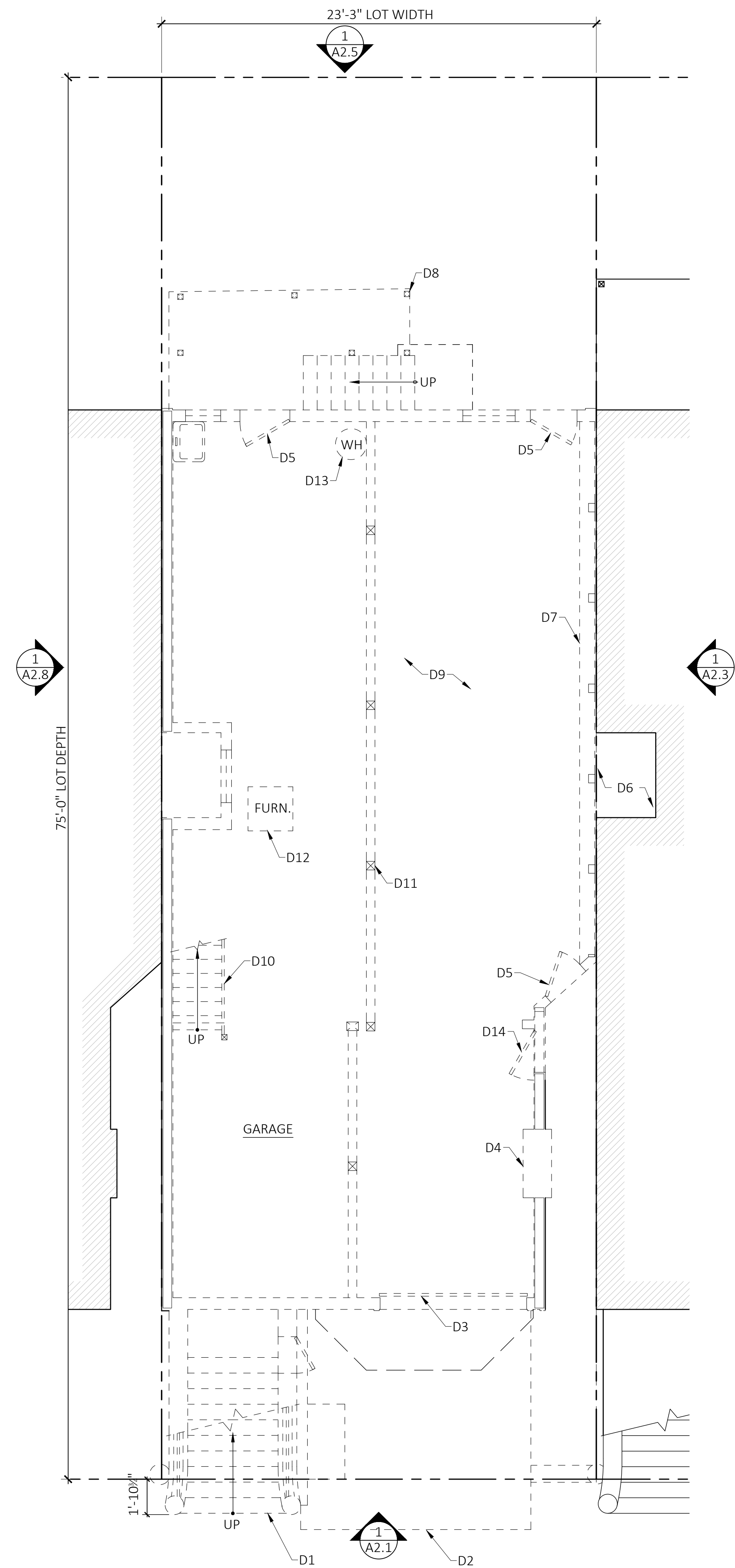
JOB # 2004

SITE PLAN - PROPOSED

A0.2

SCALE: 1/8" = 1'-0"

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FIRST FLOOR PLAN - EXISTING AND DEMOLITION
1/4" = 1'-0" 2

NOTES: EXISTING

- D1 (E) FRONT STAIR TO BE DEMOLISHED
- D2 (E) DRIVEWAY TO BE DEMOLISHED
- D3 (E) GARAGE DOOR TO BE DEMOLISHED
- D4 (E) BRICK CHIMNEY TO BE DEMOLISHED
- D5 (E) DOOR TO BE DEMOLISHED
- D6 LIGHT WELL AT 712 STEINER
- D7 (E) WATER DAMAGED BLIND WALL TO BE REMOVED - SEE PHOTO ON G2.2
- D8 (E) WOOD DECK AND STAIR TO BE DEMOLISHED
- D9 (E) SLAB ON GRADE TO BE DEMOLISHED
- D10 (E) STAIR TO BE DEMOLISHED
- D11 (E) POST AND BEAM SYSTEM TO BE DEMOLISHED
- D12 (E) HVAC SYSTEM TO BE DEMOLISHED
- D13 DEMOLISH (E) PLUMBING FIXTURE/ EQUIPMENT
- D14 (E) DOOR TO BE REPLACED

GENERAL NOTES

- A SEE SHEET G2.5 FOR THE REQUIRED LIGHTING AND VENTILATION TABLE
- B ALL GRIDLINES ARE TO FACE OF (E) OR (N) STUD UON (GENERAL NOTE ON ALL PLANS, ELEVATIONS, & BUILDING SECTIONS)



FIG. 1: EXISTING DOOR IN GARAGE COVERED BY SIDING

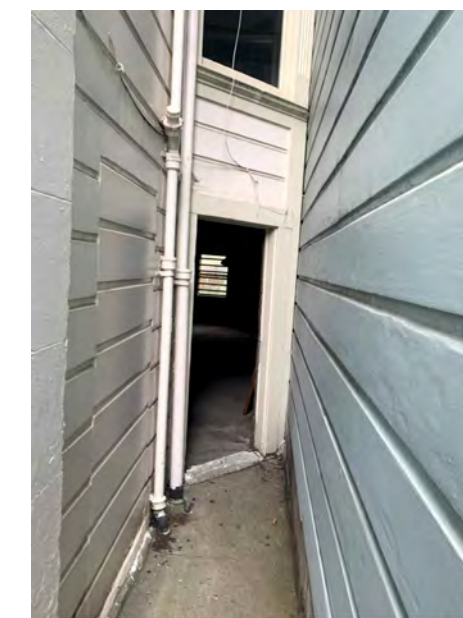
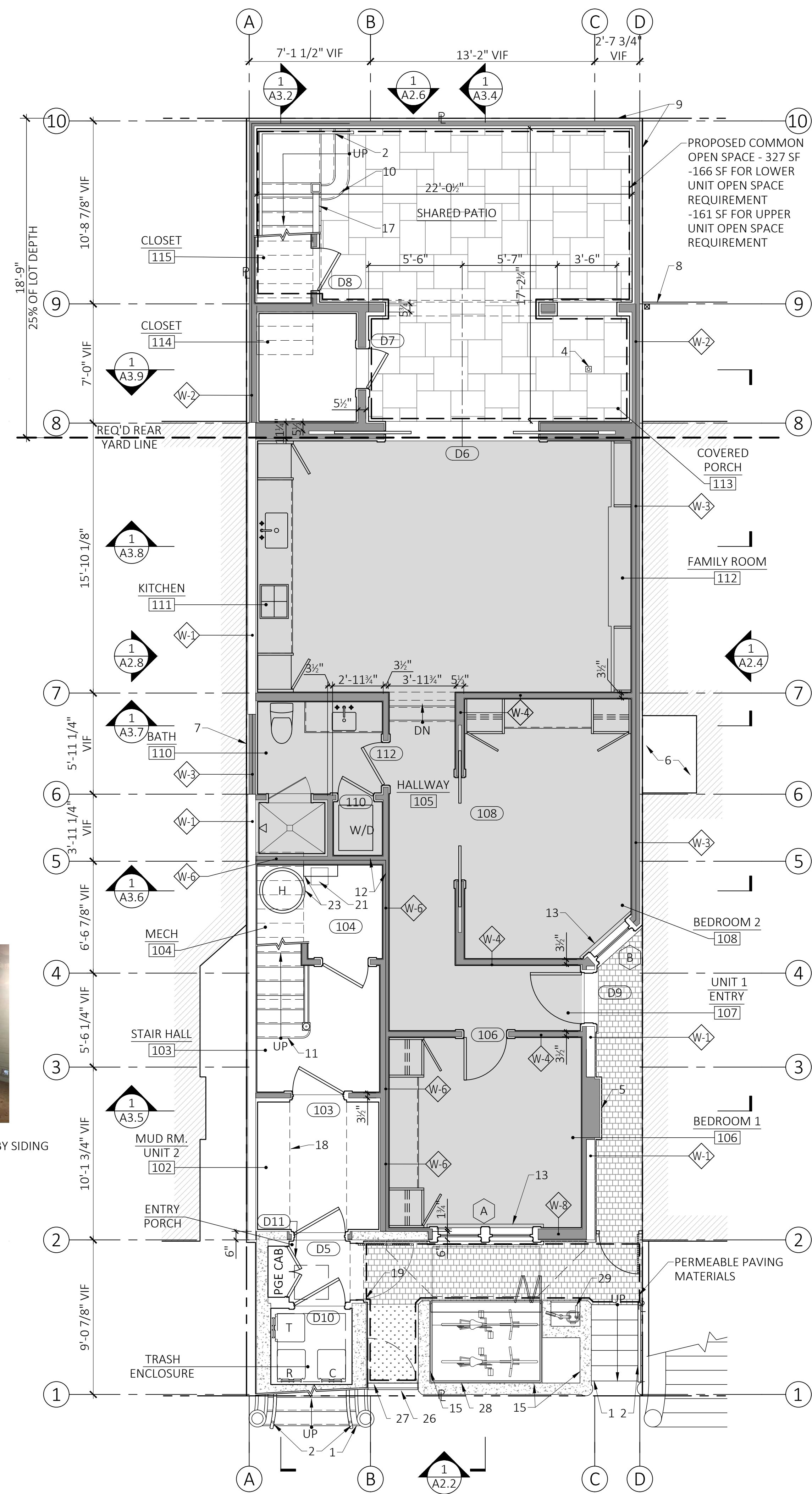


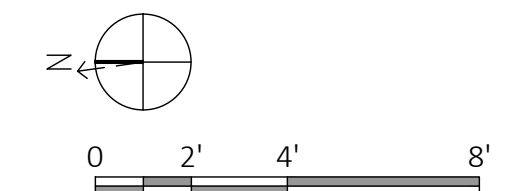
FIG. 2: SIDING OVER DOOR



FIRST FLOOR PLAN - PROPOSED
1/4" = 1'-0" 1

NOTES: PROPOSED

- 1 (N) CONCRETE STAIR WITH TERRAZZO TREADS & RISERS PER CBC 1011
- 2 (N) DECORATIVE METALWORK; GUARDRAILING PER CBC 1015; HANDRAILING PER CBC 1014
- 3 (N) TERRAZZO BIKE RAMP
- 4 (N) FLOOR DRAIN
- 5 (N) WOOD FRAMED CHIMNEY WITH SCORED STUCCO FINISH TO MATCH (E); INSTALL STUCCO PER CBC 2512
- 6 LIGHT WELL AT 712 STEINER STREET
- 7 (E) LIGHT WELL TO BE FILLED IN
- 8 EXTENT OF SUNROOM ABOVE AT 712 STEINER STREET
- 9 (N) PAINTED WOOD FENCE; 10'-0" MAX HEIGHT
- 10 (N) WOOD FRAMED STAIR PER CBC 1011
- 11 (N) WOOD FRAMED STAIR; NON-EGRESS COMPONENT
- 12 (N) FIRE RATED WALL ASSEMBLY; SEE ASSEMBLY DETAILS ON SHEETS A8.2.1 AND A8.2.2
- 13 (N) PAINTED WOOD WINDOW; SEE WINDOW SCHEDULE FOR MORE INFORMATION
- 14 (N) PAINTED METAL GATE
- 15 (N) CONCRETE SITE WALL WITH STUCCO FINISH
- 16 (N) PAINTED WOOD HANDRAIL PER CBC 1014
- 17 (N) PAINTED WOOD GUARDRAIL PER CBC 1015
- 18 (N) BUILT-IN CASEWORK OR CABINETRY
- 19 (N) FIRE-RATED DOOR ASSEMBLY PER CBC 716.2
- 20 (N) HVAC EQUIPMENT; SEE SHEET A7.5
- 21 (N) ACID RESISTANT FLOOR SINK
- 22 (N) FLOOR DRAIN
- 23 (N) BOILER AND WATER STORAGE TANK
- 24 SF PLANNING CODE SECTION 140 OPEN SPACE REQUIREMENT
- 25 (N) LANDSCAPE PLANTER
- 26 MAINTENANCE ACCESS PANEL
- 27 LANDSCAPE AREA
- 28 (N) CONCRETE VAULT STRUCTURE FOR BICYCLE STORAGE
- 29 (N) GAS METER LOCATION



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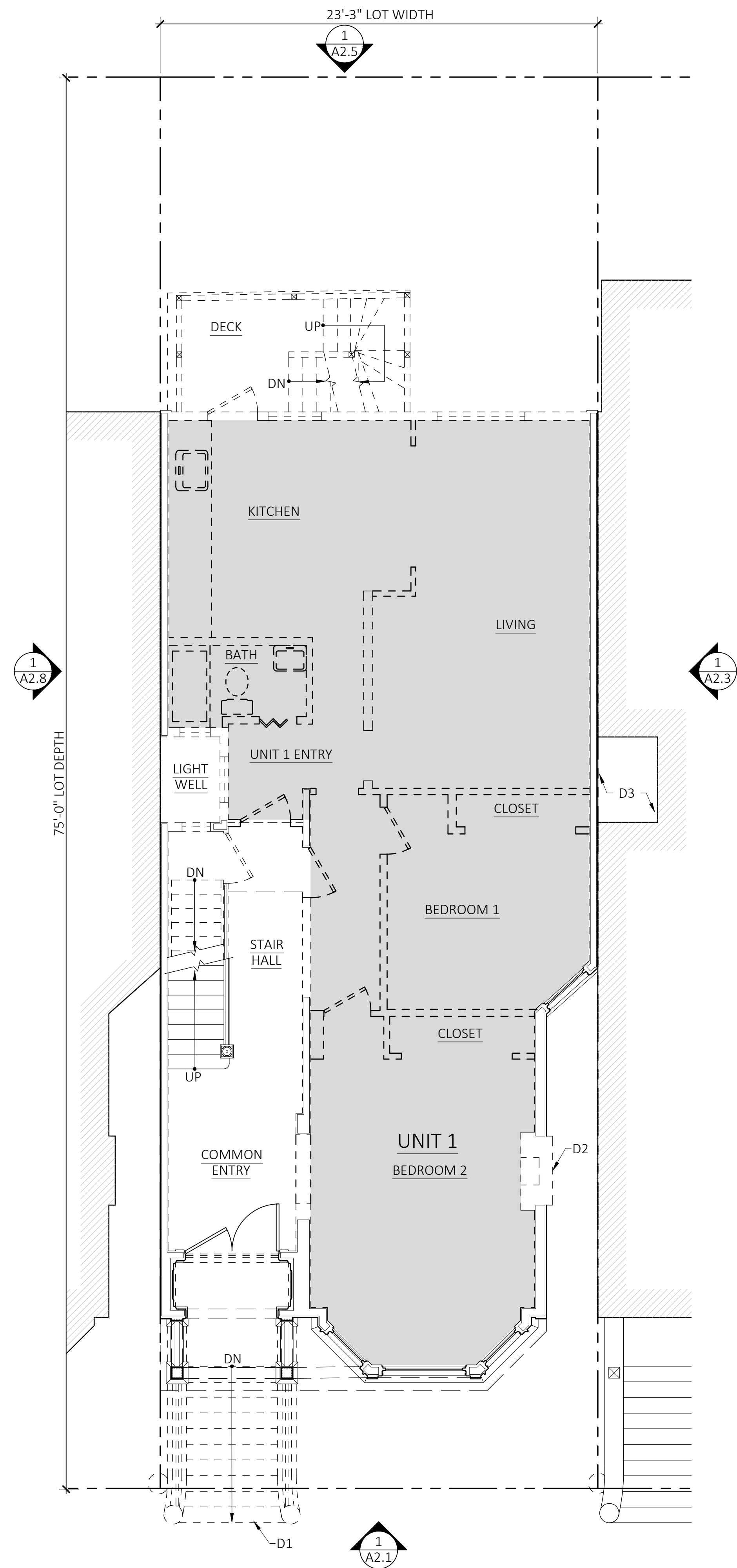
JOB # 2004

FIRST FLOOR PLAN - EXISTING AND DEMOLITION AND PROPOSED

A1.1

SCALE: 1/4" = 1'-0"

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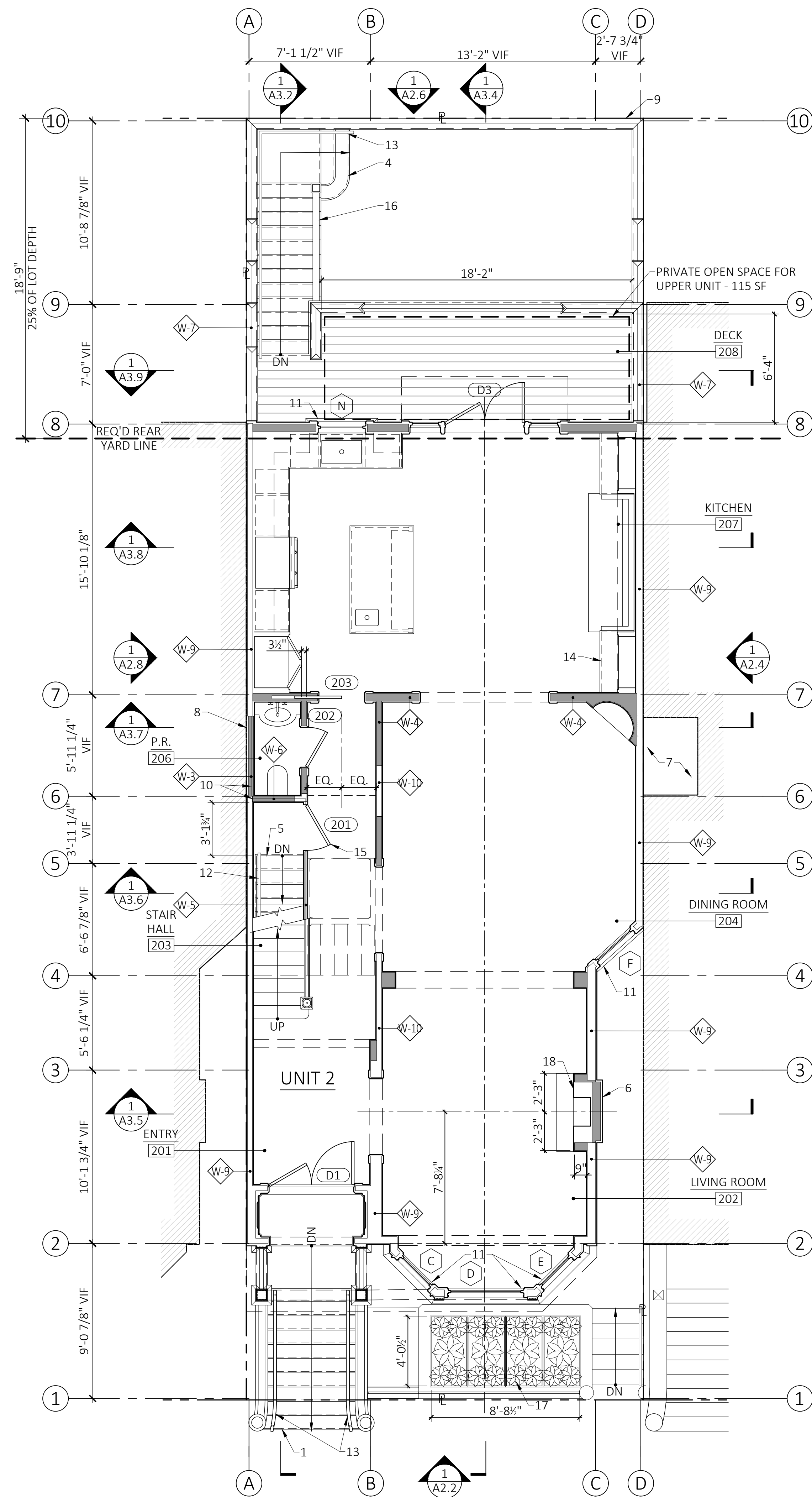
SECOND FLOOR PLAN - EXISTING AND DEMOLITION 2
1/4" = 1'-0"

NOTES: EXISTING

- D1 (E) FRONT STAIR TO BE DEMOLISHED
- D2 (E) BRICK CHIMNEY TO BE DEMOLISHED
- D3 LIGHT WELL AT 712 STEINER

GENERAL NOTES

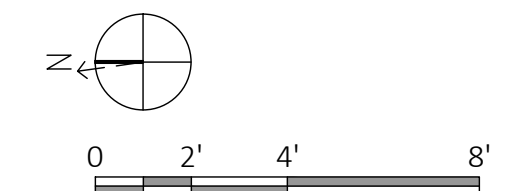
- A SEE SHEET G2.5 FOR THE REQUIRED LIGHTING AND VENTILATION TABLE



SECOND FLOOR PLAN - PROPOSED 1
1/4" = 1'-0"

NOTES: PROPOSED

- 1 (N) CONCRETE STAIR WITH TERRAZZO TREADS & RISERS PER CBC 1011
- 2 (N) DECORATIVE METALWORK; GUARDRAILING PER CBC 1015; HANDRAILING PER CBC 1014
- 3 (N) TERRAZZO BIKE RAMP
- 4 (N) WOOD FRAMED STAIR PER CBC 1011
- 5 (N) WOOD FRAMED STAIR; NON-EGRESS COMPONENT
- 6 (N) WOOD FRAMED CHIMNEY WITH SCORED STUCCO FINISH TO MATCH (E); INSTALL STUCCO PER CBC 2512
- 7 (E) LIGHT WELL AT 712 STEINER STREET
- 8 (E) LIGHT WELL TO BE FILLED IN
- 9 (N) PAINTED WOOD FENCE; 10'-0" MAX HEIGHT
- 10 (N) FIRE RATED WALL ASSEMBLY; SEE ASSEMBLY DETAILS ON SHEETS A8.2.1 AND A8.2.2
- 11 (N) PAINTED WOOD WINDOW; SEE WINDOW SCHEDULE FOR MORE INFORMATION
- 12 (N) PAINTED WOOD HANDRAIL PER CBC 1014
- 13 (N) NATURAL PATINA BRONZE HANDRAIL PER CBC 1014
- 14 (N) BUILT-IN CASEWORK OR CABINETRY
- 15 (N) FIRE-RATED DOOR ASSEMBLY PER CBC 716.2
- 16 (N) PAINTED WOOD GUARDRAIL PER CBC 1015
- 17 (N) LANDSCAPE PLANTER ABOVE (N) BICYCLE STORAGE BELOW
- 18 (N) GAS FIREPLACE



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| | |
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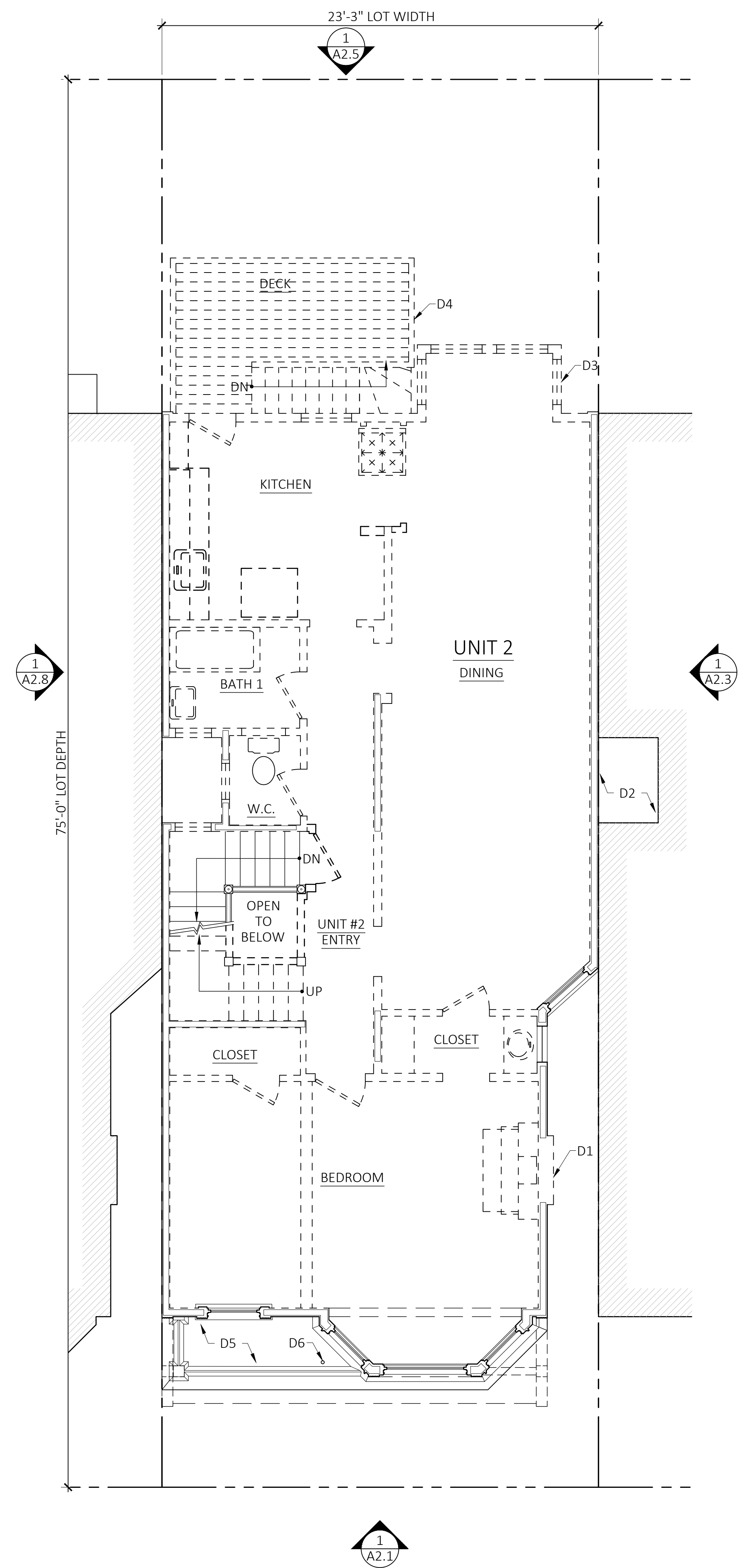
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SECOND FLOOR PLAN - EXISTING AND DEMOLITION AND PROPOSED

A1.2

SCALE: 1/4" = 1'-0"

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THIRD FLOOR PLAN - EXISTING AND DEMOLITION
1/4" = 1'-0" 2

- NOTES: EXISTING
- D1 (E) BRICK CHIMNEY TO BE DEMOLISHED
 - D2 LIGHT WELL AT 712 STEINER
 - D3 (E) BAY WINDOW TO BE DEMOLISHED
 - D4 (E) DECK AND STAIR TO BE DEMOLISHED
 - D5 (E) GALVANIZED METAL ROOFING TO BE DEMOLISHED
 - D6 DEMOLISH (E) EXPOSED DRAIN PIPE

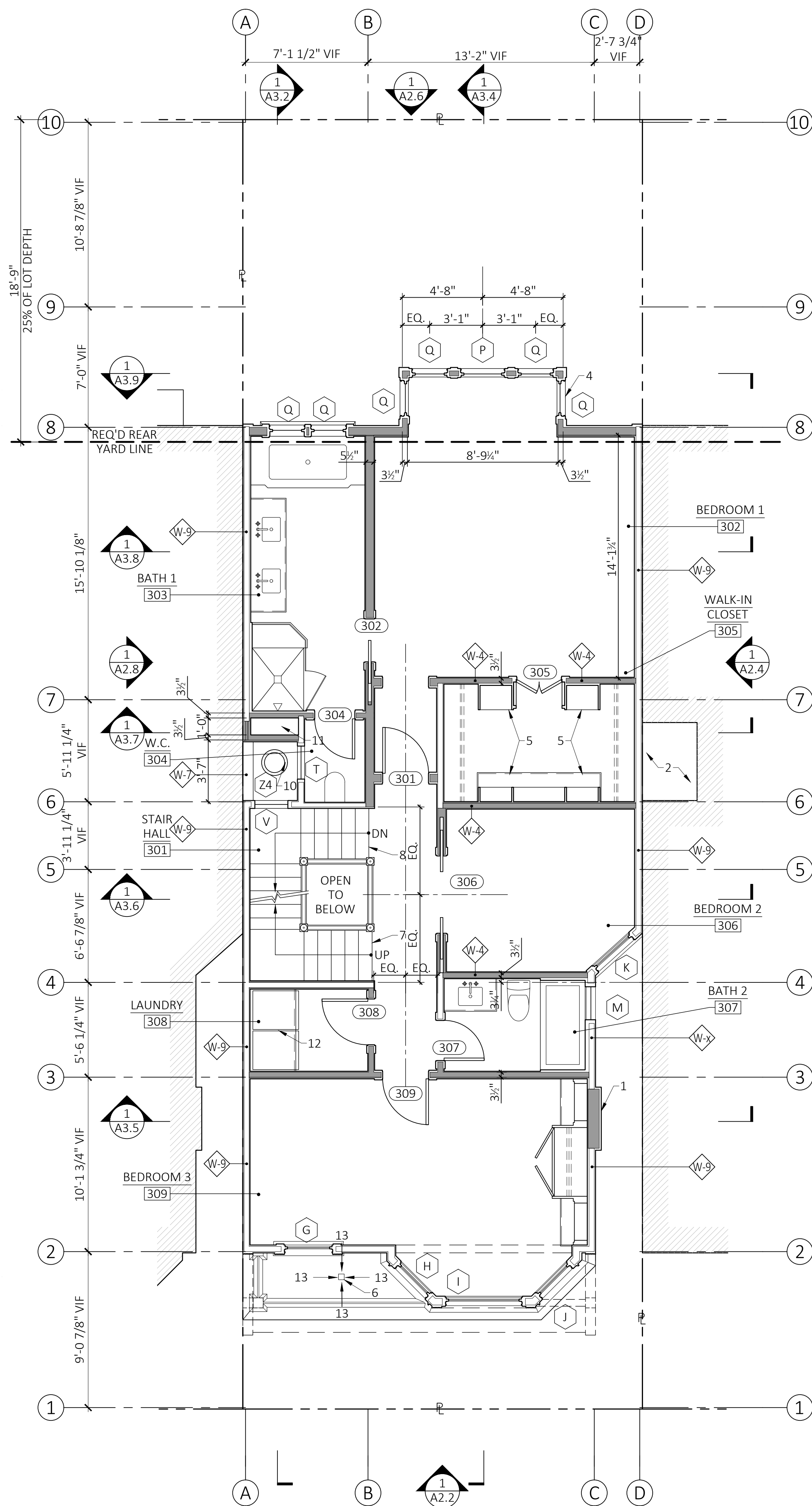
- GENERAL NOTES
- A SEE SHEET G2.5 FOR THE REQUIRED LIGHTING AND VENTILATION TABLE
 - REMOVE (E) GALVANIZED METAL ROOFING AND REPLACE WITH COPPER
 - REMOVE (E) TRIM AND REPLACE



FIG. 1: EXISTING SHEET METAL ROOFING

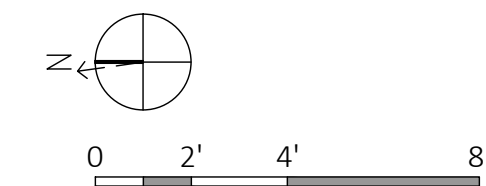


FIG. 2: EXISTING PORCH ROOF DRAIN PIPE



THIRD FLOOR PLAN - PROPOSED
1/4" = 1'-0" 1

- NOTES: PROPOSED
- 1 (N) WOOD FRAMED CHIMNEY WITH SCORED STUCCO FINISH TO MATCH (E); INSTALL STUCCO PER CBC 2512
 - 2 LIGHT WELL AT 712 STEINER STREET
 - 3 (N) FIRE RATED WALL ASSEMBLY; SEE ASSEMBLY DETAILS ON SHEETS A8.2.1 AND A8.2.2
 - 4 (N) PAINTED WOOD WINDOW; SEE WINDOW SCHEDULE FOR MORE INFORMATION
 - 5 (N) BUILT-IN CASEWORK OR CABINETRY
 - 6 (N) COPPER ROOF AND DRAIN OVER (N) WATERPROOFING MEMBRANE
 - 7 (N) STAIR IN-KIND TO REPLACE (E) DAMAGED STAIR
 - 8 (E) STAIR RAISED TO ALIGN TO (N) FINISHED FLOOR LEVEL
 - 9 (N) SKYLIGHT; SEE SCHEDULE
 - 10 (N) VELUX RIGID SUN TUNNEL TLR; SEE SCHEDULE
 - 11 (N) 10" RANGE HOOD VENT
 - 12 (N) 2" FLOOR DRAIN
 - 13 ROOF SLOPING 1/4" PER FOOT TO DRAIN



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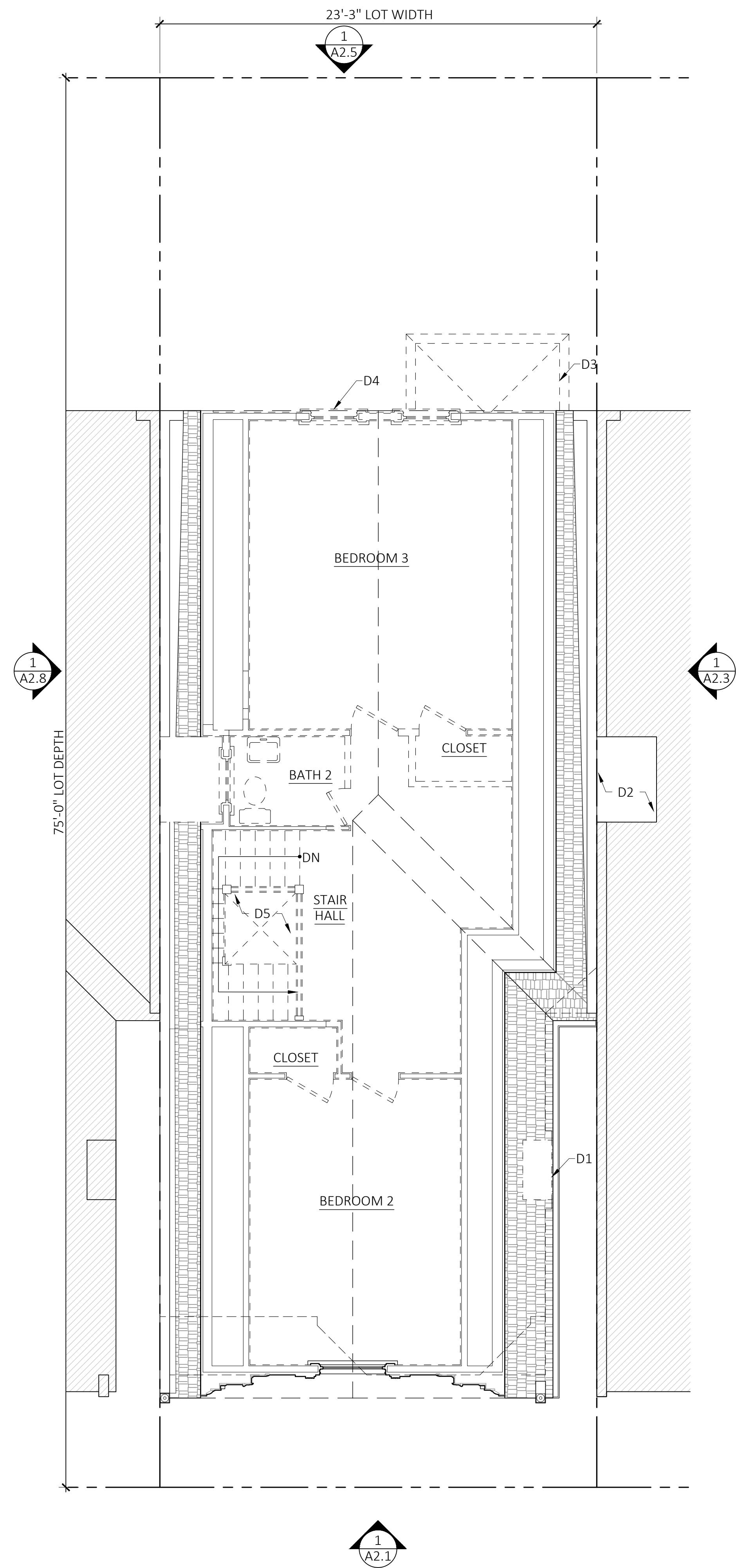
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THIRD FLOOR PLAN - EXISTING AND DEMOLITION AND PROPOSED

A1.3

SCALE: 1/4" = 1'-0"

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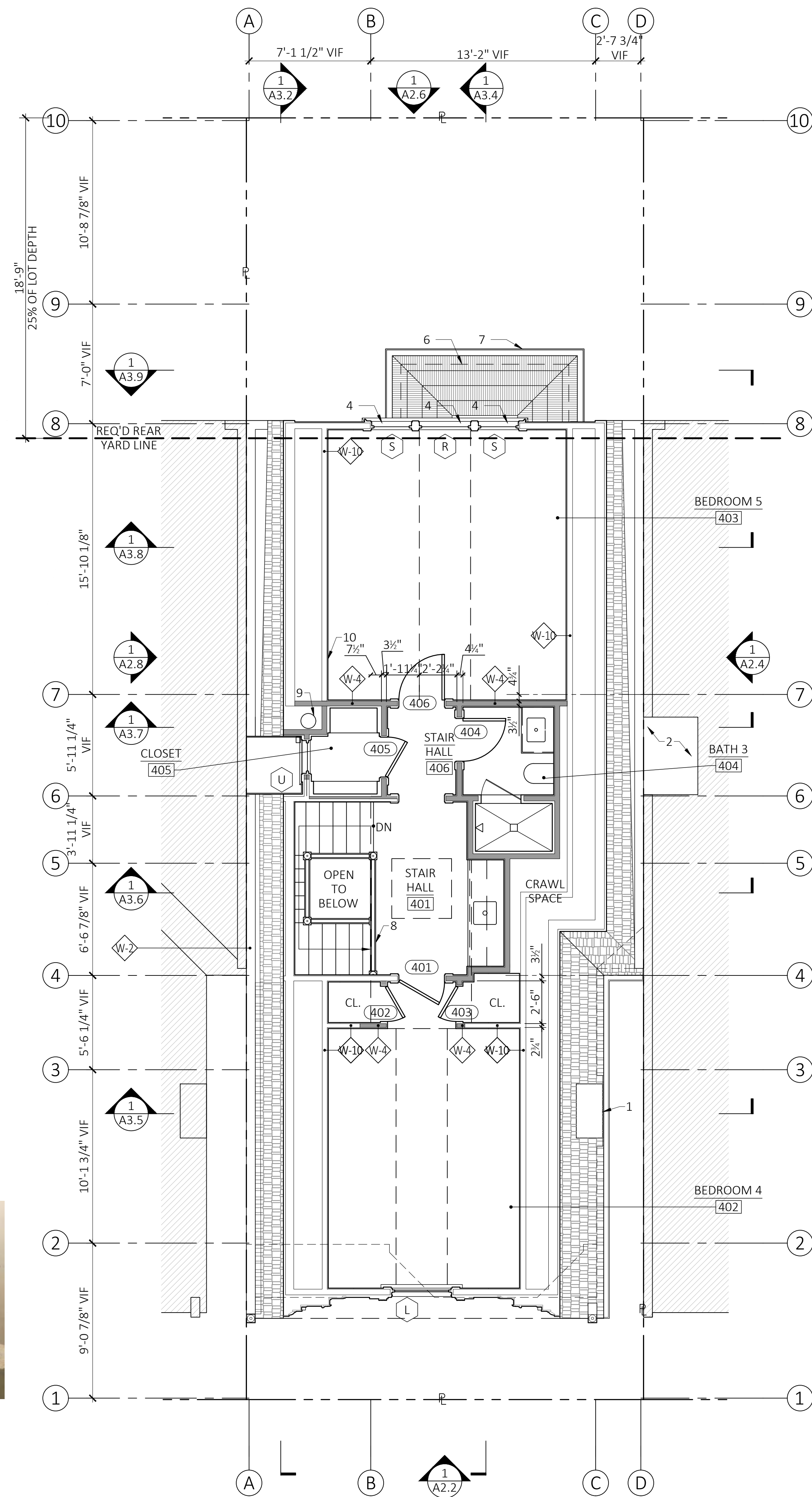
FOURTH FLOOR PLAN - EXISTING AND DEMOLITION
1/4" = 1'-0" 2

- NOTES: EXISTING
- D1 (E) BRICK CHIMNEY TO BE DEMOLISHED
 - D2 LIGHT WELL AT 712 STEINER
 - D3 (E) BAY WINDOW BELOW TO BE DEMOLISHED
 - D4 (E) WINDOWS TO BE DEMOLISHED
 - D5 (E) STAIR AND ENCLOSING WALLS TO BE DEMOLISHED

- GENERAL NOTES
- A SEE SHEET G2.5 FOR THE REQUIRED LIGHTING AND VENTILATION TABLE

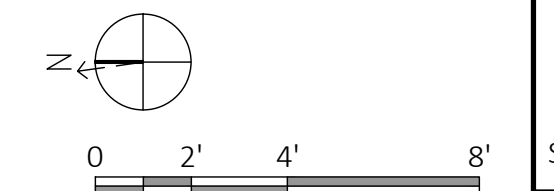


FIG. 1: EXISTING STAIR



FOURTH FLOOR PLAN - PROPOSED
1/4" = 1'-0" 1

- NOTES: PROPOSED
- 1 (N) WOOD FRAMED CHIMNEY WITH SCORED STUCCO FINISH TO MATCH (E); INSTALL STUCCO PER CBC 2512
 - 2 LIGHT WELL AT 712 STEINER STREET
 - 3 (N) FIRE RATED WALL ASSEMBLY; SEE ASSEMBLY DETAILS ON SHEETS A8.2.1 AND A8.2.2
 - 4 (N) PAINTED WOOD WINDOW; SEE WINDOW SCHEDULE FOR MORE INFORMATION
 - 5 (N) BUILT-IN CASEWORK OR CABINETS
 - 6 (N) COPPER FLAT-SEAM ROOFING FINISH OVER WATERPROOFING MEMBRANE
 - 7 (N) COPPER GUTTER WITH INTERNAL LEADER
 - 8 (N) 36" AFF GUARDRAIL PER CHBC CODE SECTION 8-504
 - 9 (N) KITCHEN HOOD VENT



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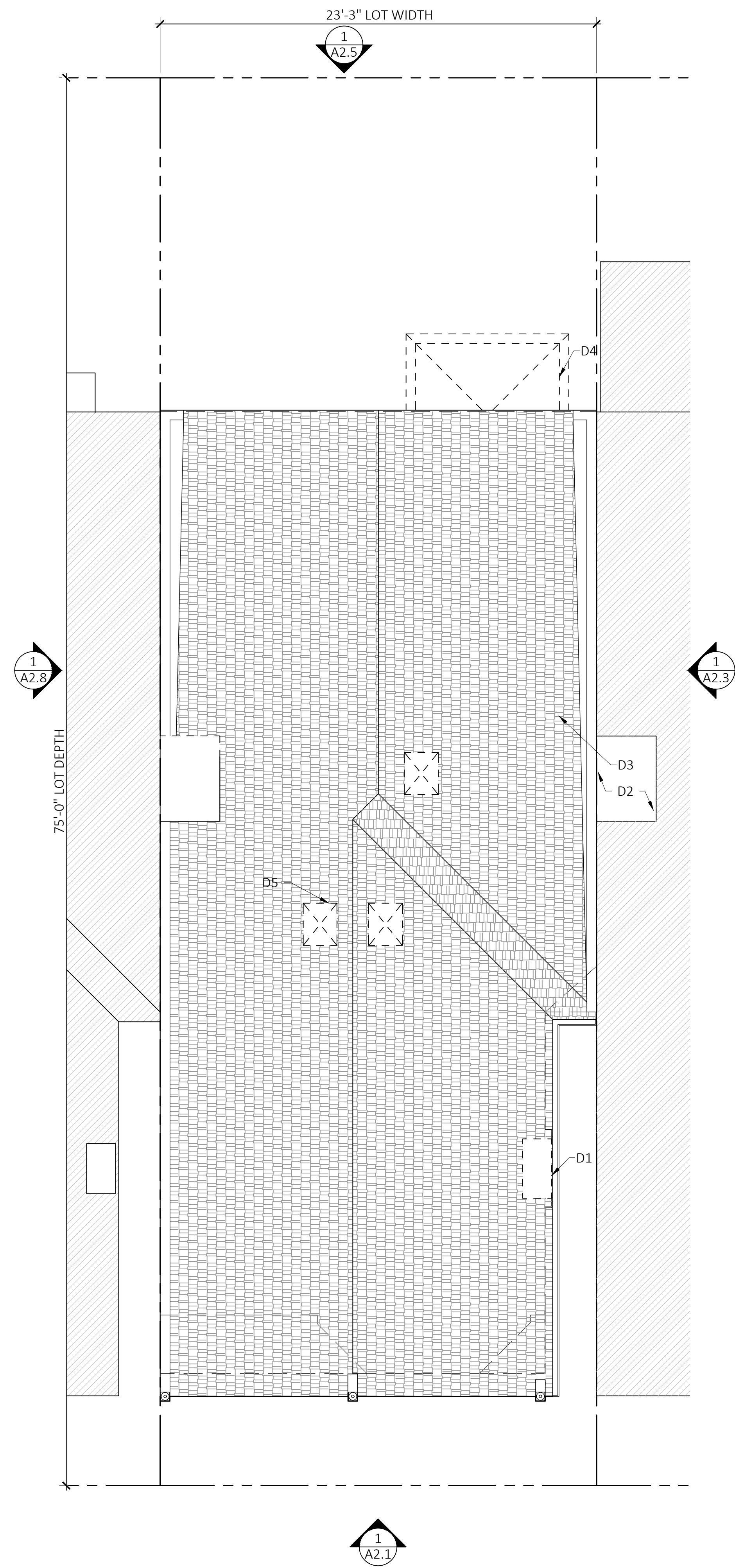
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FOURTH FLOOR PLAN - EXISTING AND DEMOLITION AND PROPOSED

A1.4

SCALE: 1/4" = 1'-0"

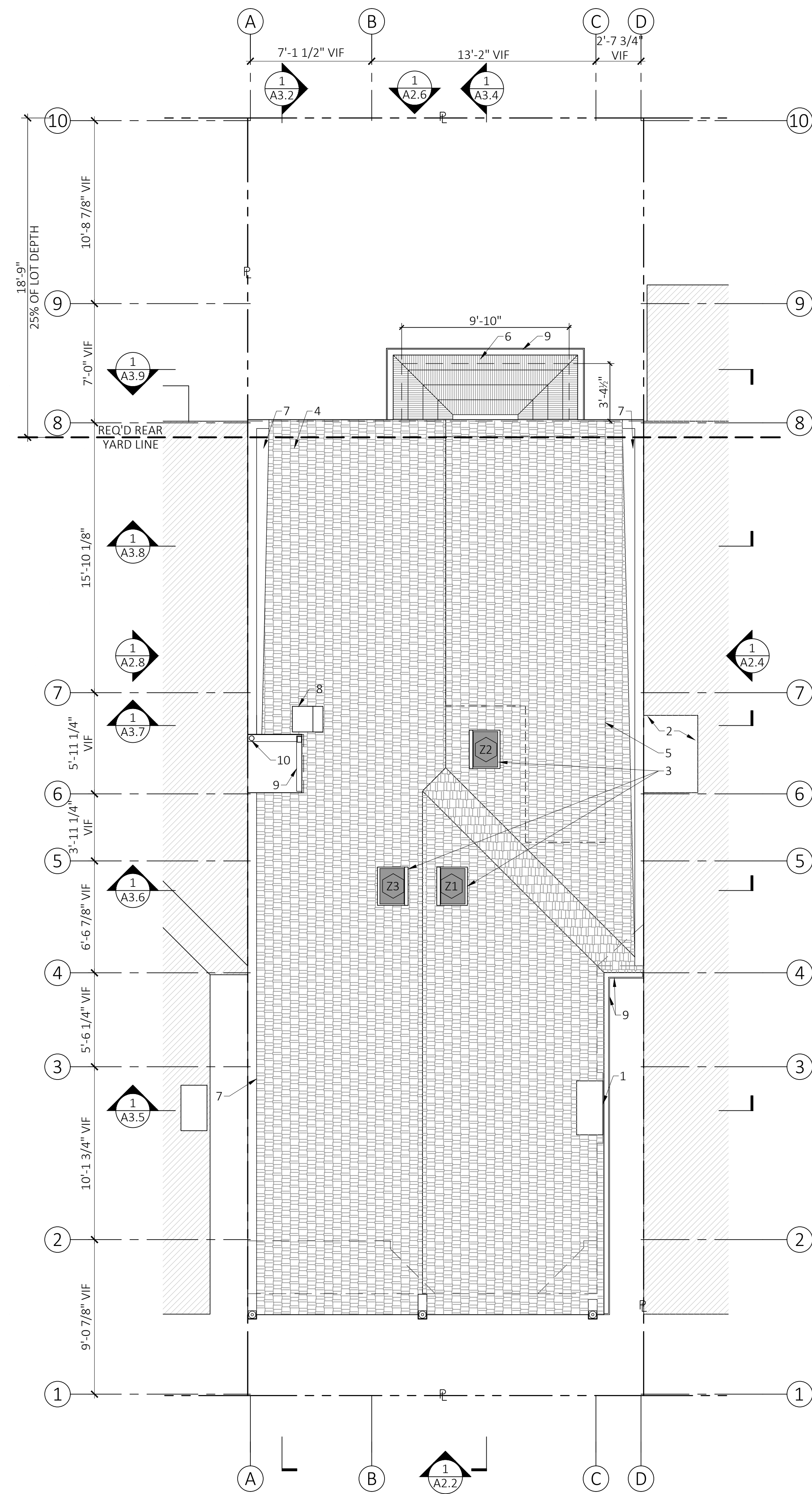
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ROOF PLAN - EXISTING AND DEMOLITION
1/4" = 1'-0" 2

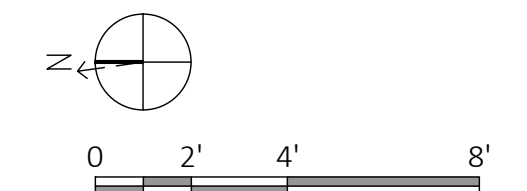
- NOTES: EXISTING
- D1 (E) BRICK CHIMNEY TO BE DEMOLISHED
 - D2 LIGHT WELL AT 712 STEINER
 - D3 REMOVE (E) COMP. SHINGLE ROOFING
 - D4 (E) BAY WINDOW BELOW TO BE DEMOLISHED
 - D5 AREA OF (E) ROOF TO BE DEMOLISHED

GENERAL NOTES



ROOF PLAN - PROPOSED
1/4" = 1'-0" 1

- NOTES: PROPOSED
- 1 (N) COPPER CHIMNEY CAP
 - 2 LIGHT WELL AT 712 STEINER STREET
 - 3 (N) SKYLIGHT; SEE SCHEDULE
 - 4 (N) COMP. SHINGLE ROOFING
 - 5 AREA FOR PHOTO VOLTAIC PANEL ARRAY
 - 6 (N) COPPER FLAT-SEAM ROOFING FINISH OVER WATERPROOFING MEMBRANE
 - 7 (E) DUTCH GUTTER WITH (N) COPPER LINING
 - 8 (N) REMOTE BLOWER FOR KITCHEN HOOD
 - 9 (N) COPPER GUTTER
 - 10 (N) COPPER DOWN SPOUT
 - 11 (N) INTERNAL LEADER
 - 12 (N) OVERFLOW



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ROOF PLAN - EXISTING AND DEMOLITION AND PROPOSED

A1.5

SCALE: 1/4" = 1'-0"

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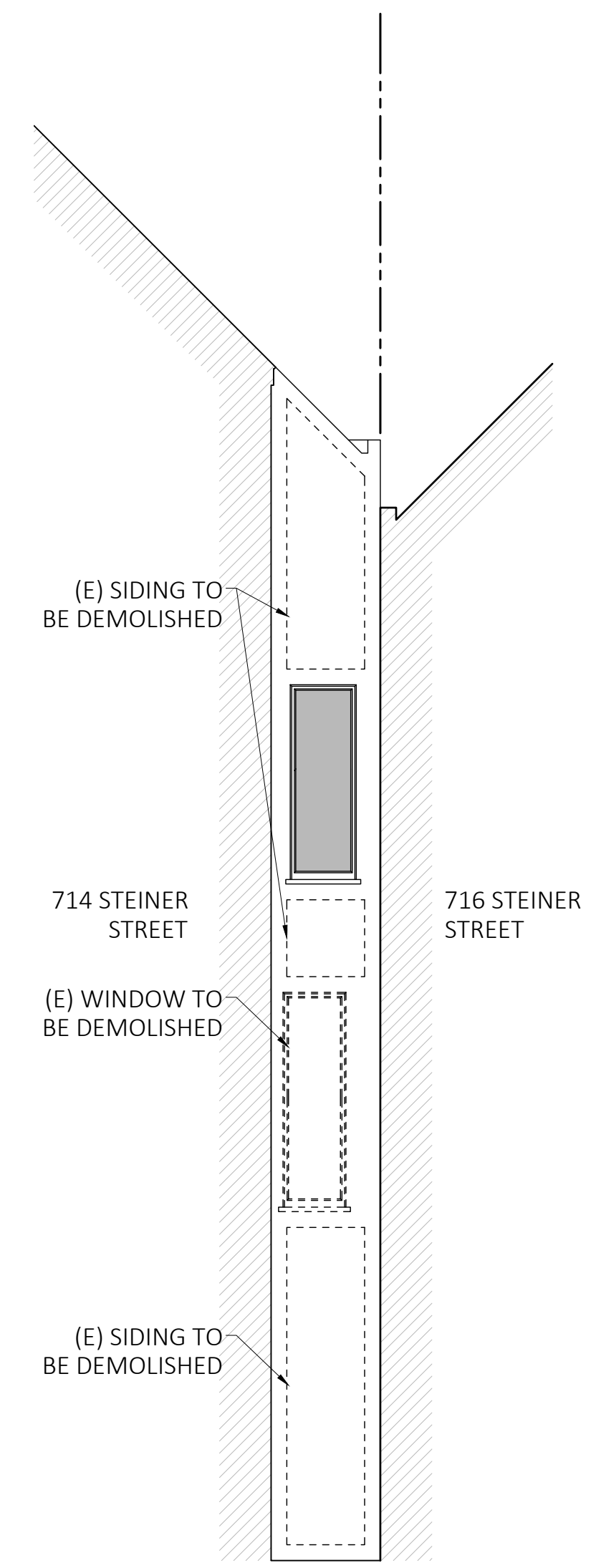
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| JOB # | 2004 |
| WEST ELEVATION - EXISTING | |
| A2.1 | |
| SCALE: 1/4" = 1'-0" | |



- GENERAL NOTES**
- A. ALL WORK OUTSIDE OF THE SCOPE OF WORK BUBBLE ON THE STREET-FACING FACADES TO BE LIMITED TO:
- REFURBISHMENT AND/OR REPLACEMENT OF WINDOW SASHES AS INDICATED ON A 4.1
 - REFURBISHMENT, REPAIR AND/OR REPLACEMENT IN-KIND OF ANY SIGNIFICANTLY DAMAGED TRIM OR MOLDING
 - PAINTING

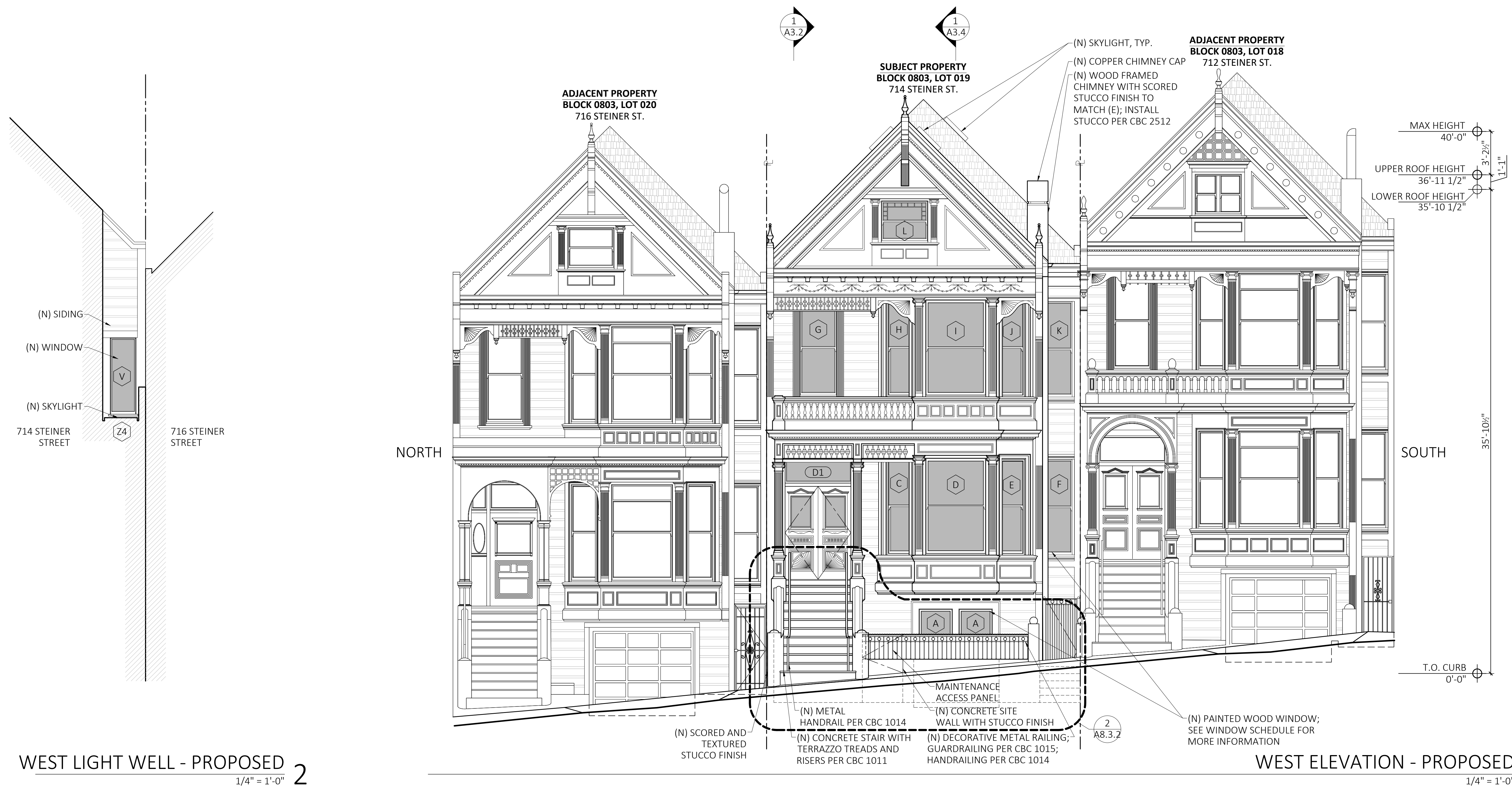
WEST LIGHT WELL - EXISTING 2
1/4" = 1'-0"

WEST ELEVATION - EXISTING 1
1/4" = 1'-0"





PHOTO SHOWING POSTCARD ROW IN THE LATE 1940s 3



WEST LIGHT WELL - PROPOSED 2
1/4" = 1'-0"

WEST ELEVATION - PROPOSED 1
1/4" = 1'-0"

- GENERAL NOTES**
- A. ALL WORK OUTSIDE OF THE SCOPE OF WORK BUBBLE ON THE STREET-FACING FACADES TO BE LIMITED TO:
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 - REFURBISHMENT, REPAIR AND/OR REPLACEMENT IN-KIND OF ANY SIGNIFICANTLY DAMAGED TRIM OR MOLDING
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| JOB # | 2004 |
| WEST ELEVATION - PROPOSED | |
| A2.2 | |
| SCALE: 1/4" = 1'-0" | |





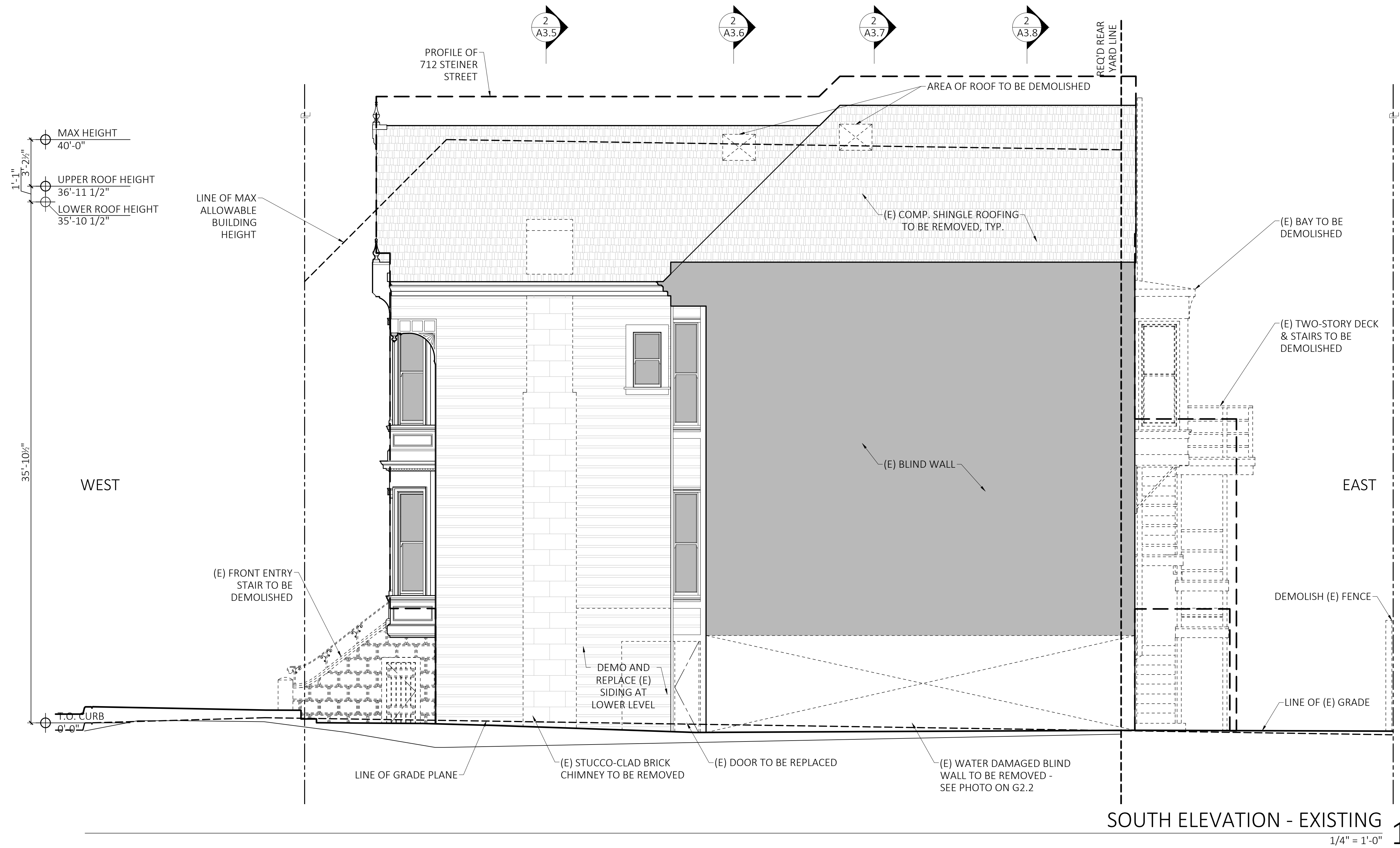
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SOUTH ELEVATION - EXISTING

1/4" = 1'-0" 1

GENERAL NOTES

- A. ALL WORK OUTSIDE OF THE SCOPE OF WORK BUBBLE ON THE STREET-FACING FACADES TO BE LIMITED TO:
- REFURBISHMENT AND/OR REPLACEMENT OF WINDOW SASHES AS INDICATED ON A 4.1
 - REFURBISHMENT, REPAIR AND/OR REPLACEMENT IN-KIND OF ANY SIGNIFICANTLY DAMAGED TRIM OR MOLDING
 - PAINTING

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SOUTH ELEVATION - EXISTING

A2.3

SCALE: 1/4" = 1'-0"

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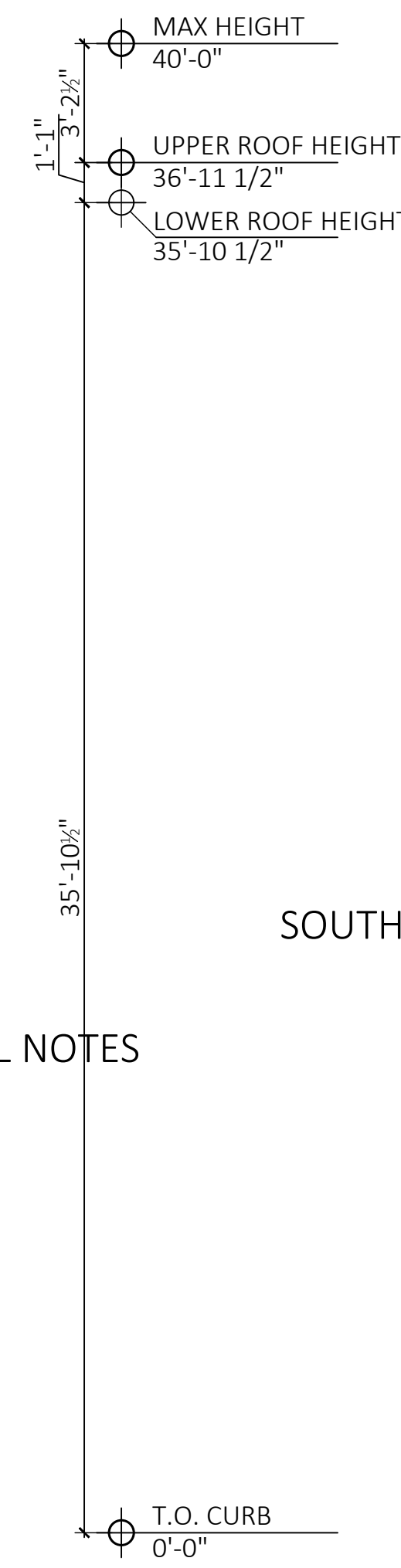
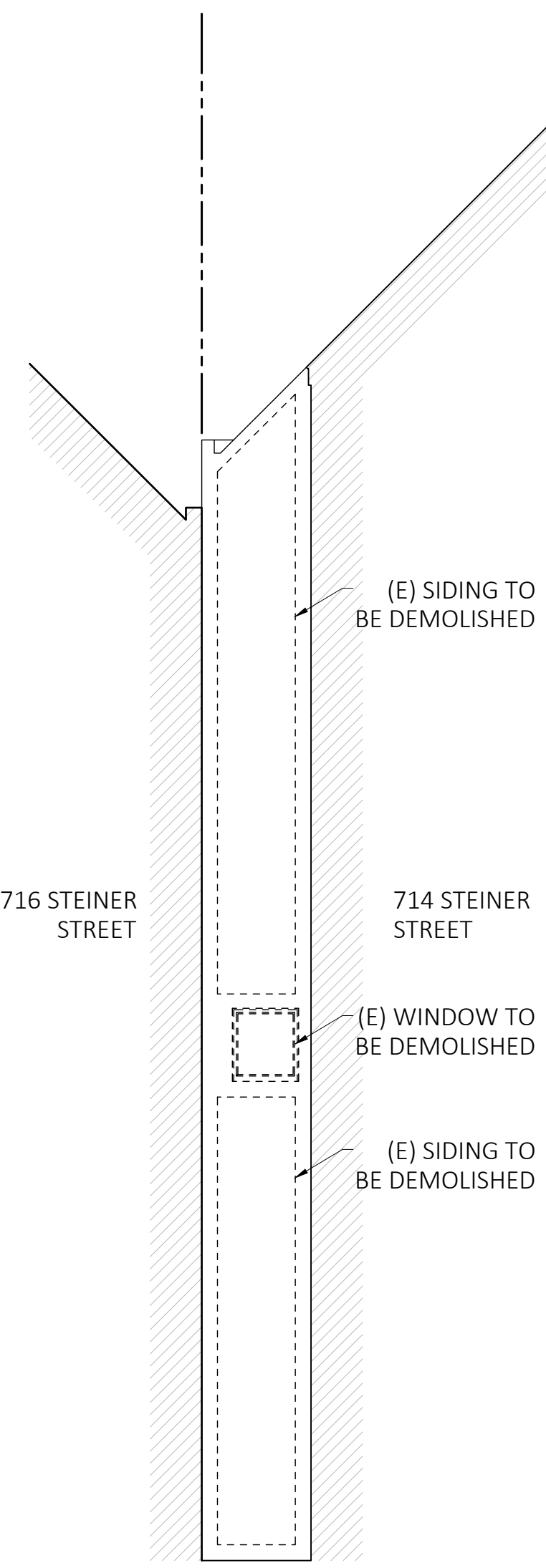
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GENERAL NOTES

SOUTH

NORTH



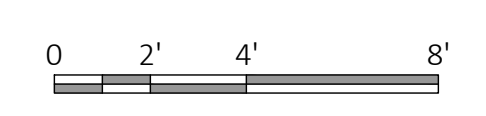
ALL WINDOWS, SIDING, DECKS, STAIRS AND BAY WINDOW AT REAR FACADE TO BE DEMOLISHED

GENERAL NOTES

- A. ALL WORK OUTSIDE OF THE SCOPE OF WORK BUBBLE ON THE STREET-FACING FACADES TO BE LIMITED TO:
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 - REFURBISHMENT, REPAIR AND/OR REPLACEMENT IN-KIND OF ANY SIGNIFICANTLY DAMAGED TRIM OR MOLDING
 - PAINTING

EAST LIGHT WELL - EXISTING 2
1/4" = 1'-0"

EAST ELEVATION - EXISTING 1
1/4" = 1'-0"



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| EAST ELEVATION - EXISTING | |
| A2.5 | |
| SCALE: 1/4" = 1'-0" | |

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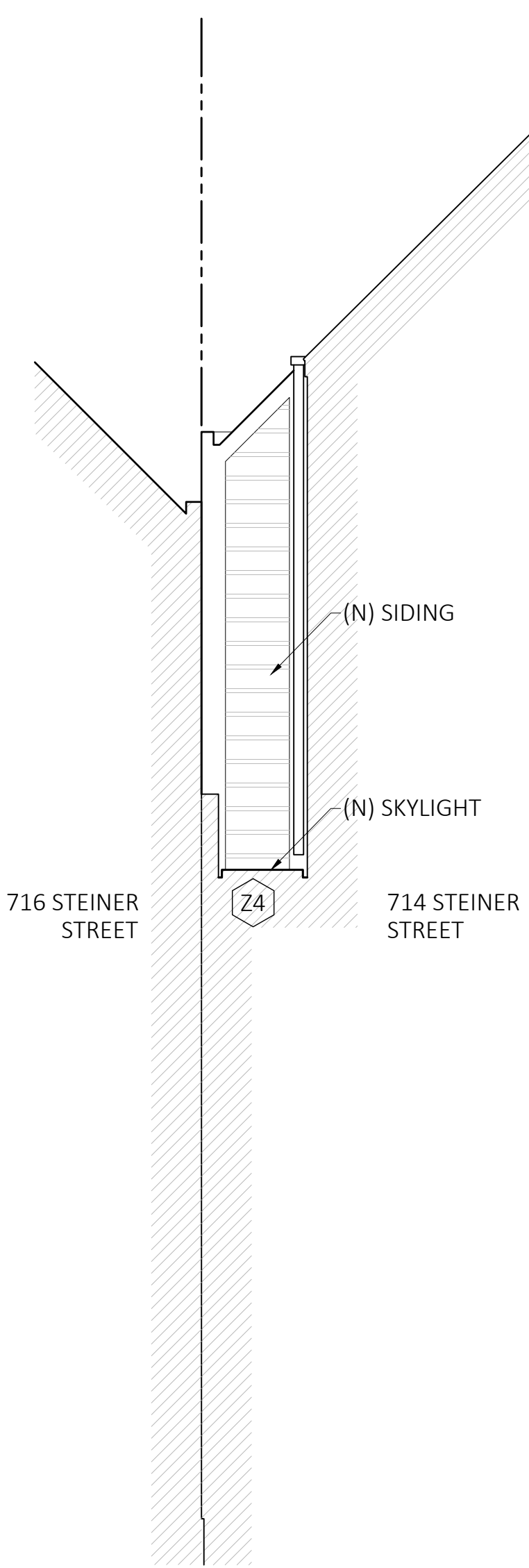
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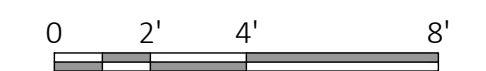


EAST LIGHT WELL - PROPOSED 2
1/4" = 1'-0"



EAST ELEVATION - PROPOSED 1
1/4" = 1'-0"

- GENERAL NOTES**
- A. ALL WORK OUTSIDE OF THE SCOPE OF WORK BUBBLE ON THE STREET-FACING FACADES TO BE LIMITED TO:
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| JOB # | 2004 |
| EAST ELEVATION - PROPOSED | |
| A2.6 | |
| SCALE: 1/4" = 1'-0" | |

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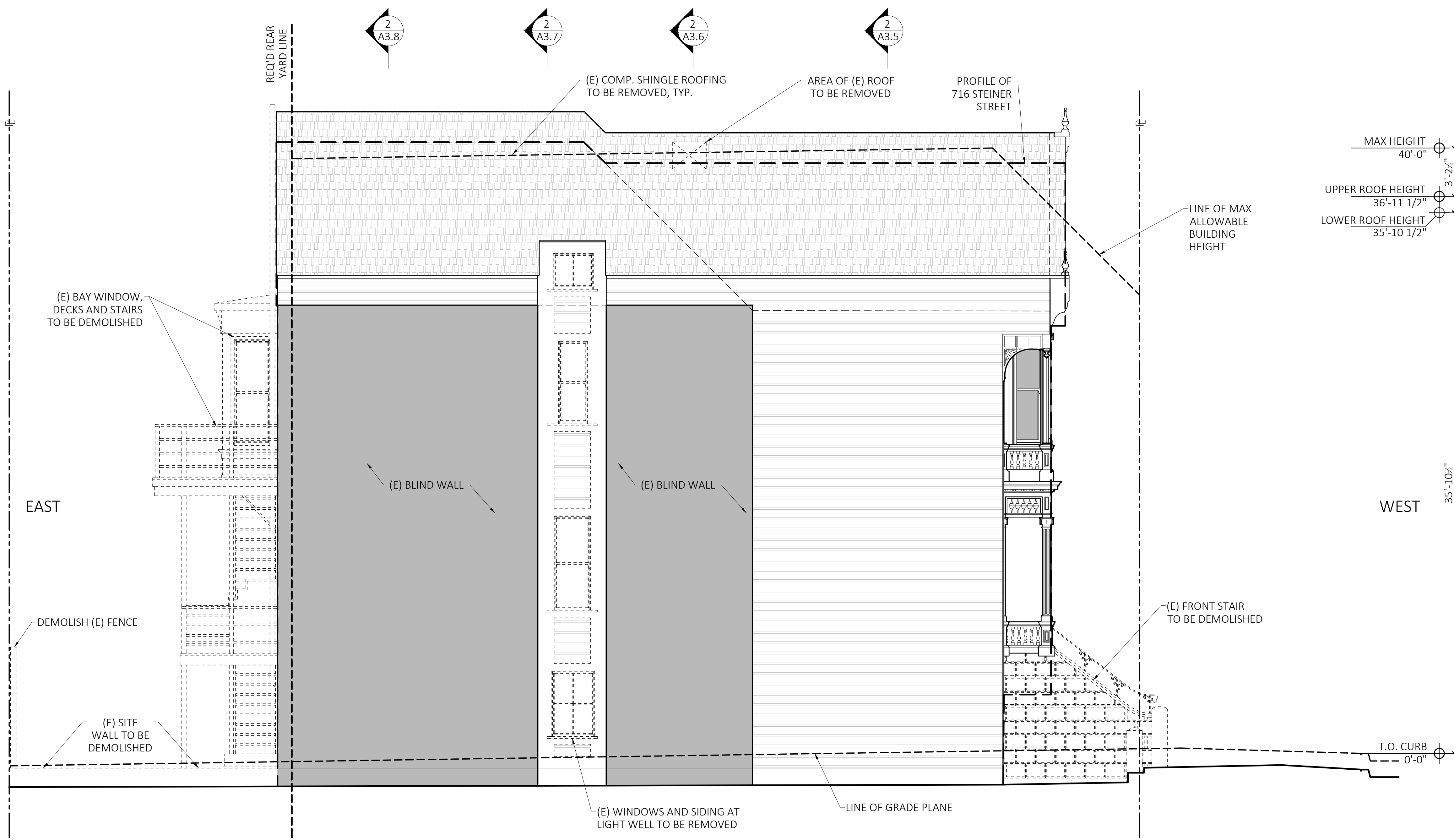
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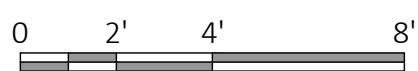
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NORTH ELEVATION - EXISTING 1
1/4" = 1'-0"

GENERAL NOTES

- A. ALL WORK OUTSIDE OF THE SCOPE OF WORK BUBBLE ON THE STREET-FACING FACADES TO BE LIMITED TO:
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 - PAINTING



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| NORTH ELEVATION - EXISTING | |
| A2.7 | |
| SCALE: 1/4" = 1'-0" | |

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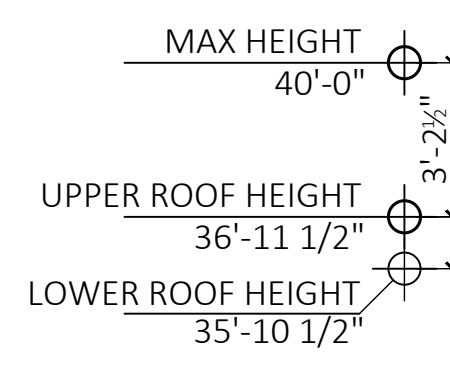
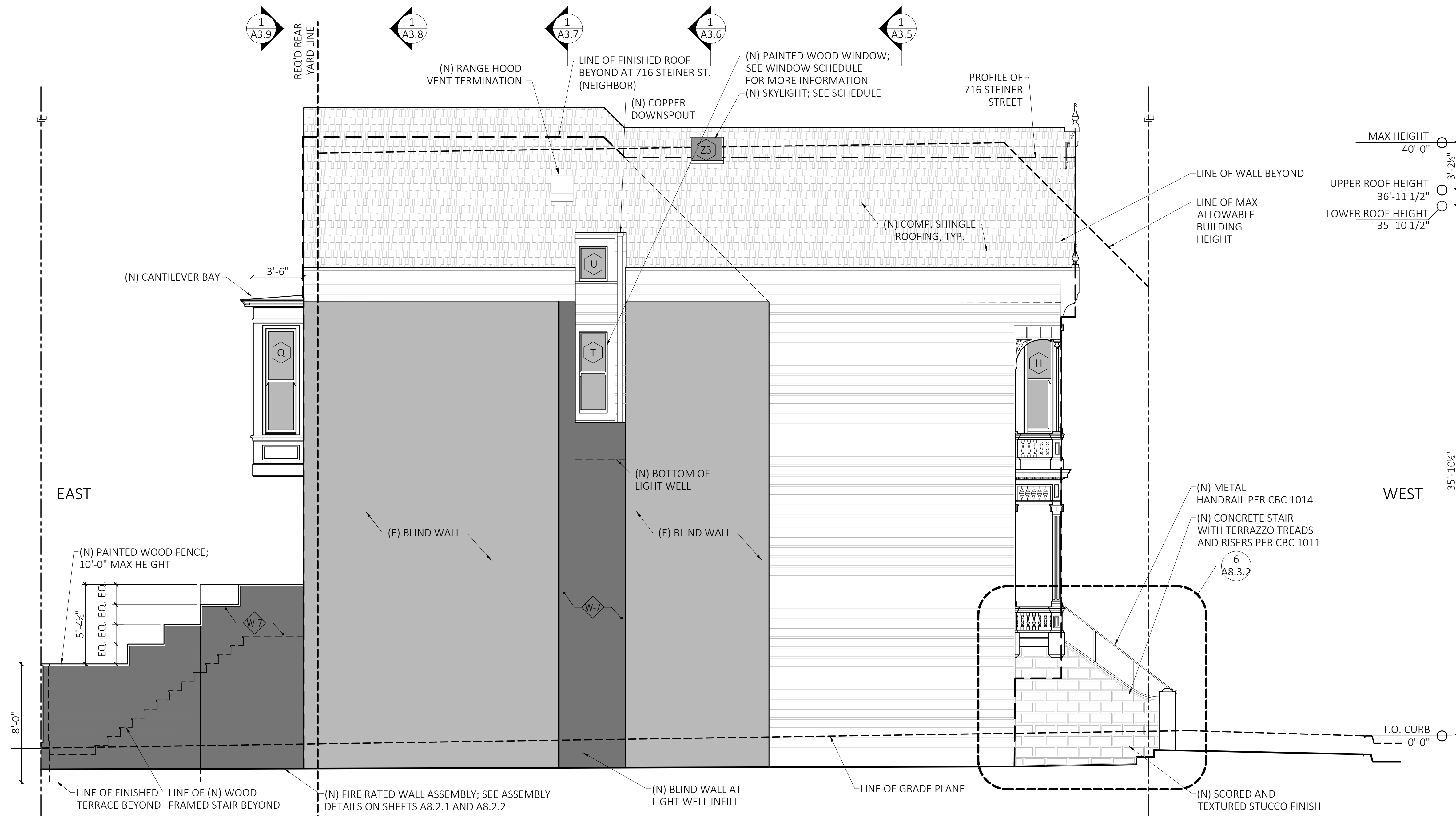
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NORTH ELEVATION - PROPOSED

A2.8

SCALE: 1/4" = 1'-0"

NORTH ELEVATION - PROPOSED
1/4" = 1'-0" 1



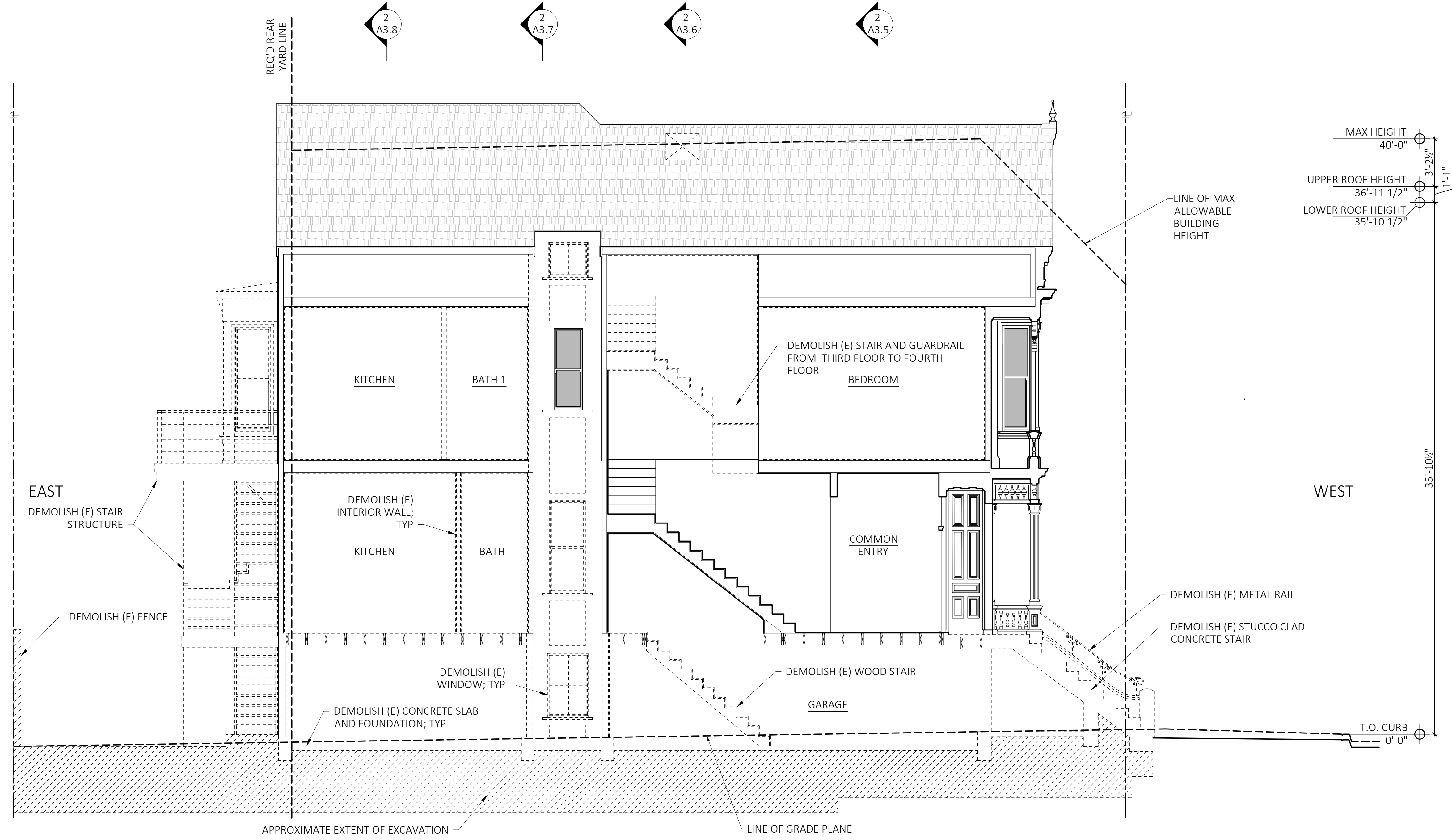
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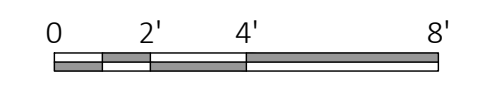
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LONGITUDINAL BUILDING SECTION - EXISTING & DEMOLITION

1/4" = 1'-0" 1



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BUILDING SECTION

A3.1

SCALE: 1/4" = 1'-0"

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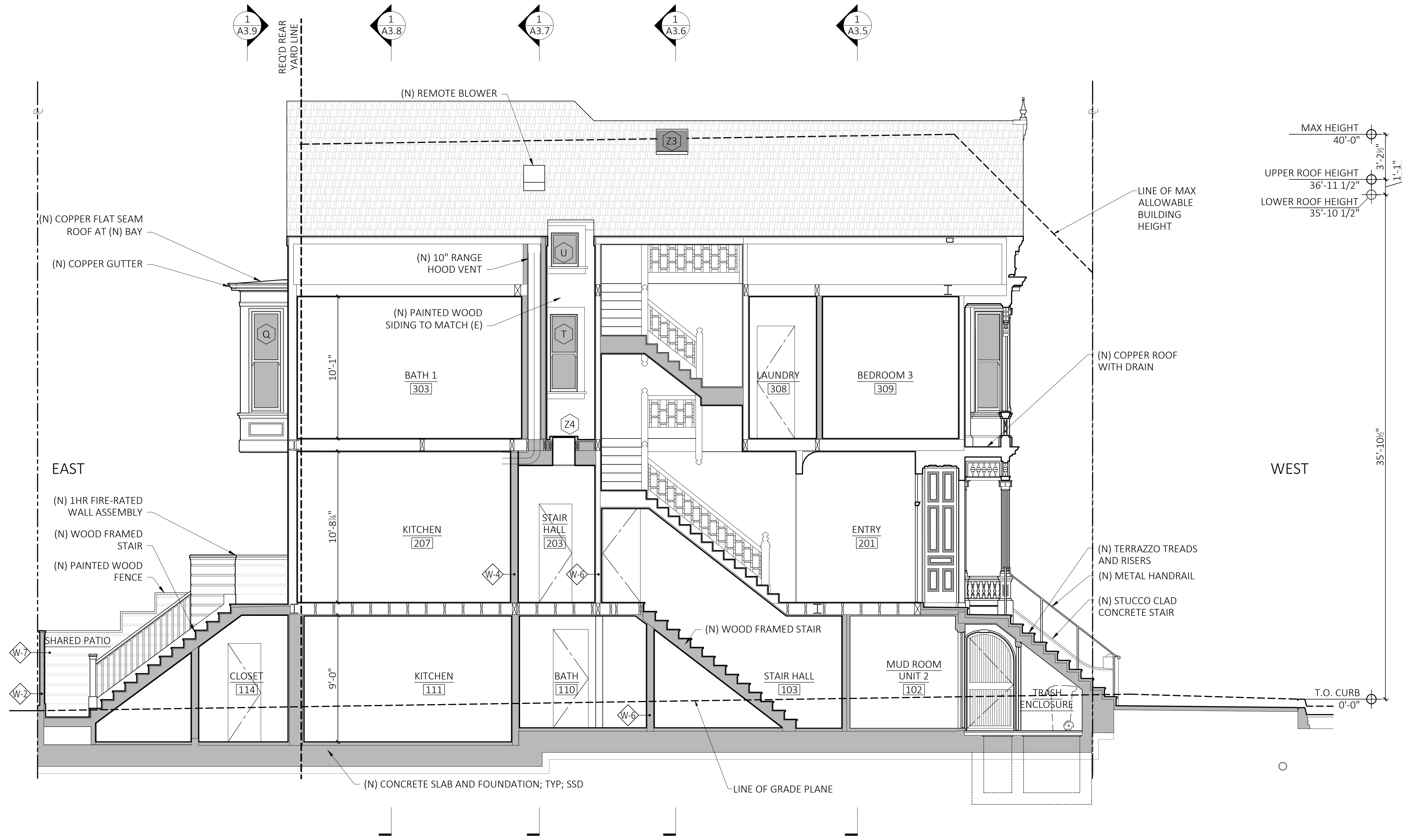
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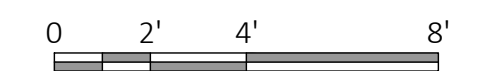
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LONGITUDINAL BUILDING SECTION - PROPOSED

1/4" = 1'-0" 1



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BUILDING SECTION

A3.2

SCALE: 1/4" = 1'-0"

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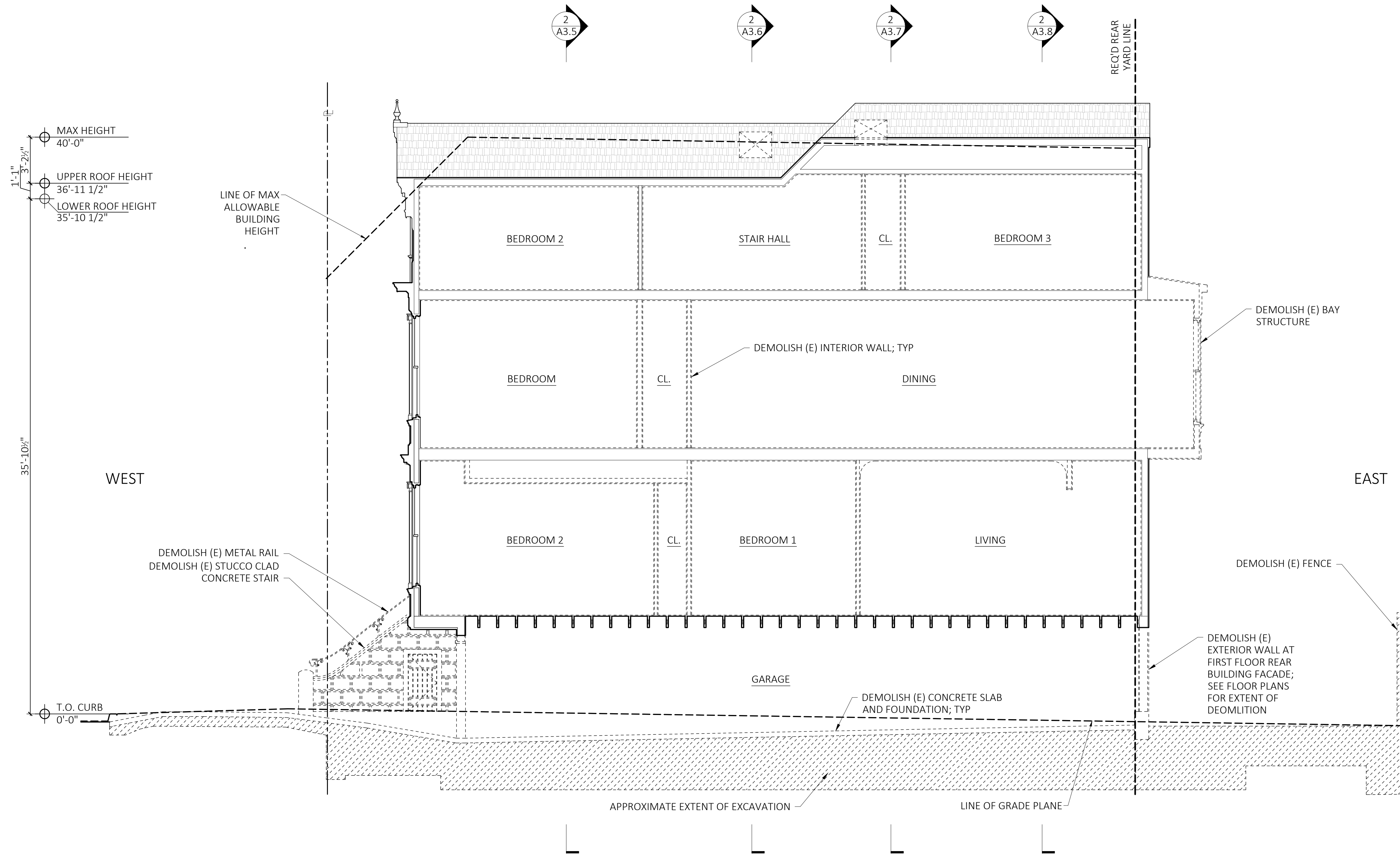
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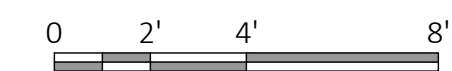
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LONGITUDINAL BUILDING SECTION - EXISTING & DEMOLITION

1/4" = 1'-0"

1



| | |
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BUILDING SECTION

A3.3

SCALE: 1/4" = 1'-0"

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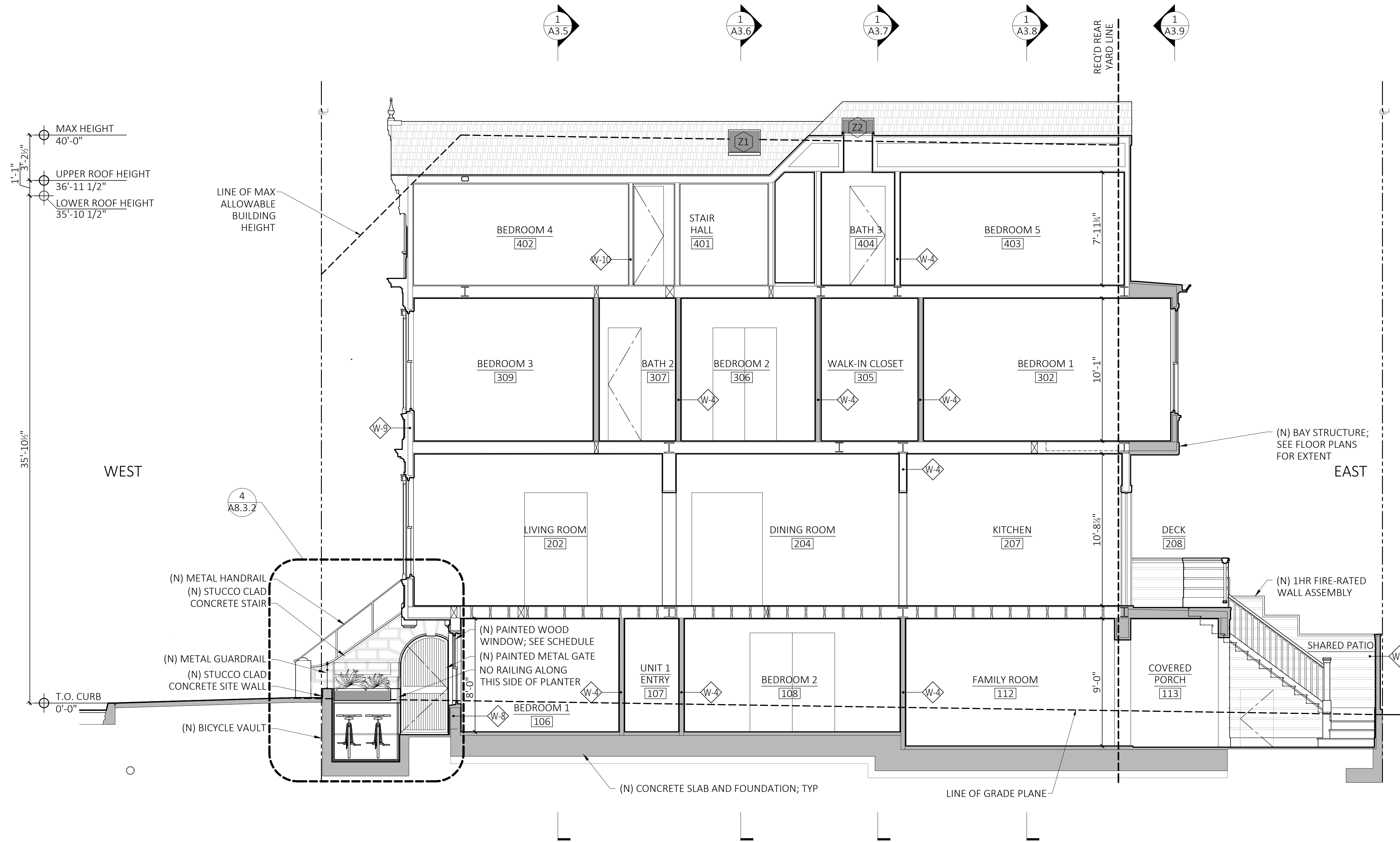
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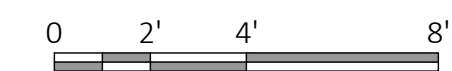
714 STEINER STREET, SAN FRANCISCO, CA 94117



LONGITUDINAL BUILDING SECTION - PROPOSED

1/4" = 1'-0"

1



| | |
|-----------------|----------|
| ISSUANCE | DATE |
| CofA/VARIANCE | 05.26.21 |
| BUILDING PERMIT | 03.29.21 |
| MILLS ACT APP. | 05.26.21 |
| PLAN CHECK | 08.24.21 |
| RESPONCE | |

JOB # 2004

BUILDING SECTION

A3.4

SCALE: 1/4" = 1'-0"

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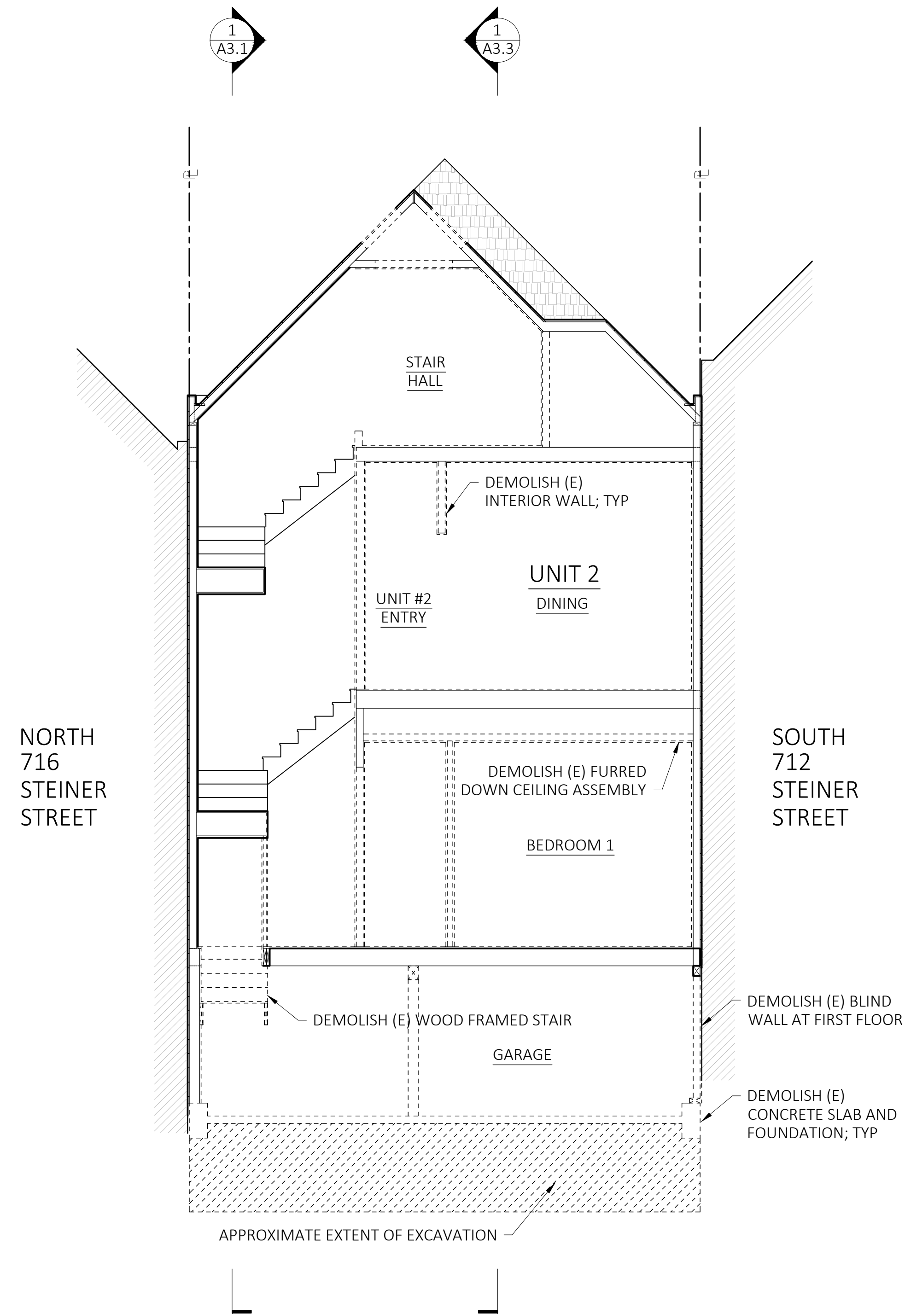
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SAN FRANCISCO, CA 94117
(415) 440-2880

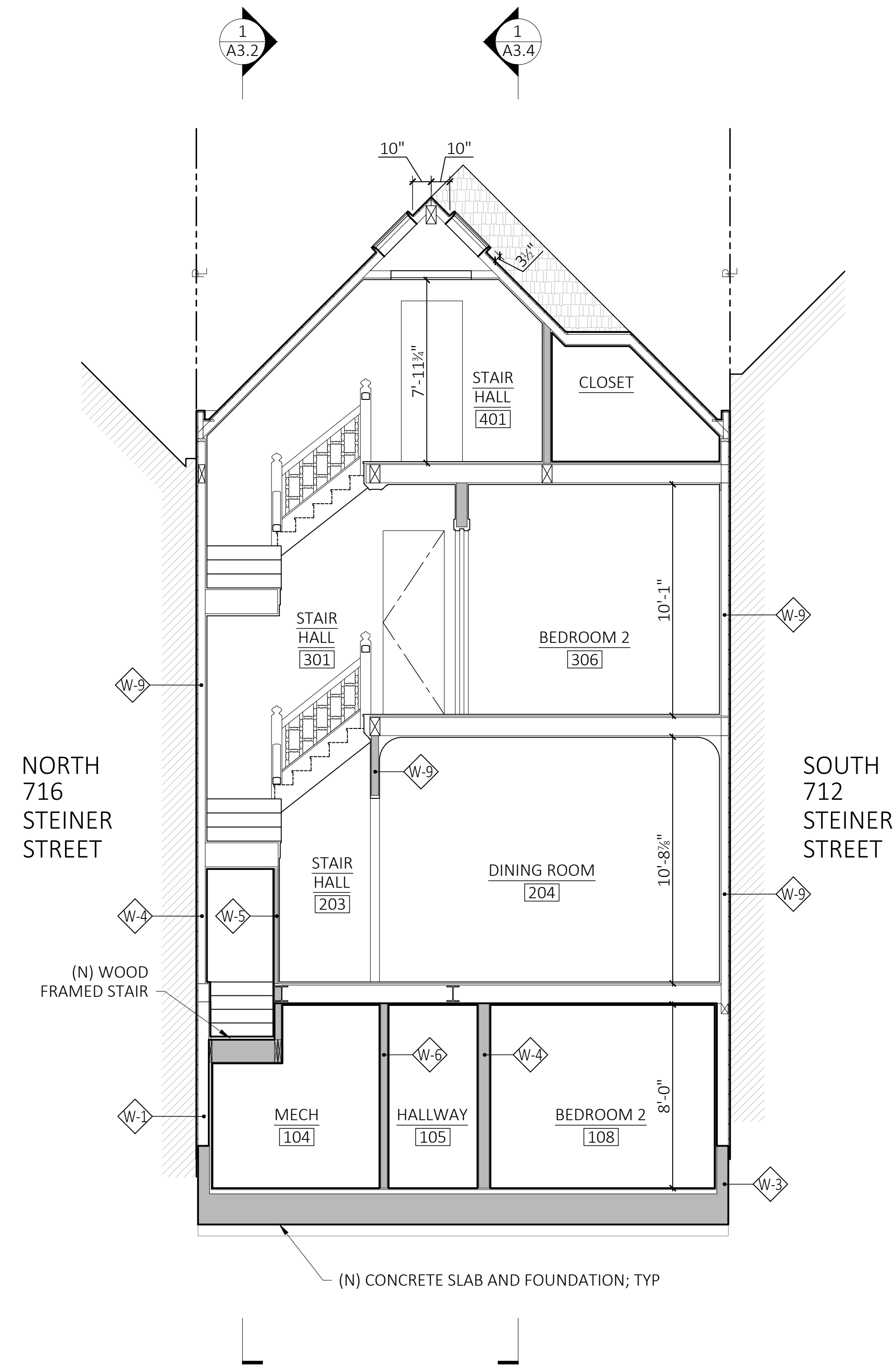


CULVER RESIDENCE

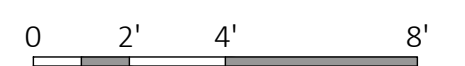
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TRANSVERSE BUILDING SECTION - EXISTING & DEMOLITION 2
1/4" = 1'-0"



TRANSVERSE BUILDING SECTION - PROPOSED 1
1/4" = 1'-0"



| ISSUANCE | DATE |
|-----------------|----------|
| CofA/VARIANCE | 05.26.21 |
| BUILDING PERMIT | 03.29.21 |
| MILLS ACT APP. | 05.26.21 |
| PLAN CHECK | 08.24.21 |
| RESPONSE | |

JOB # 2004

BUILDING SECTIONS

A3.6

SCALE: 1/4" = 1'-0"

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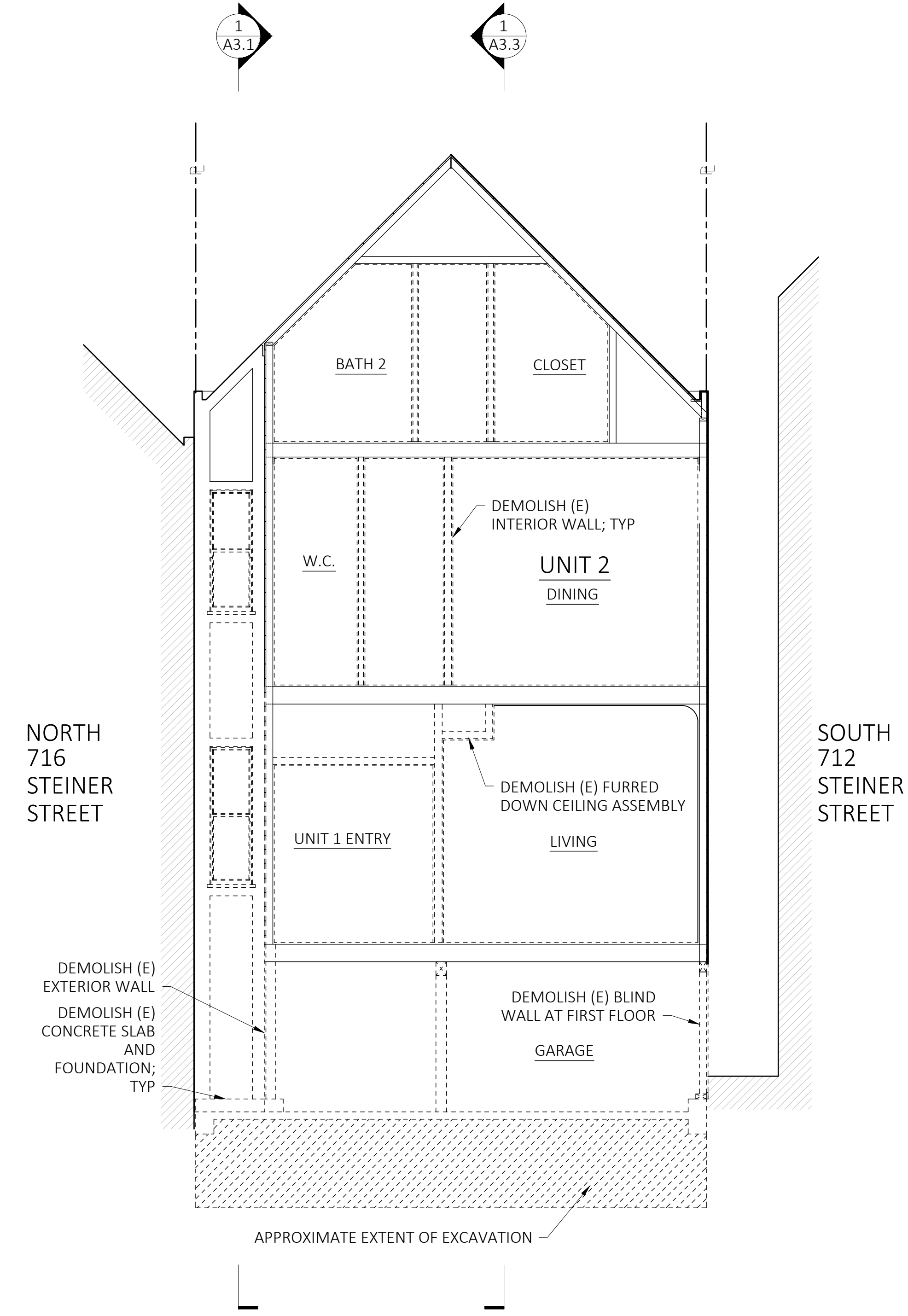
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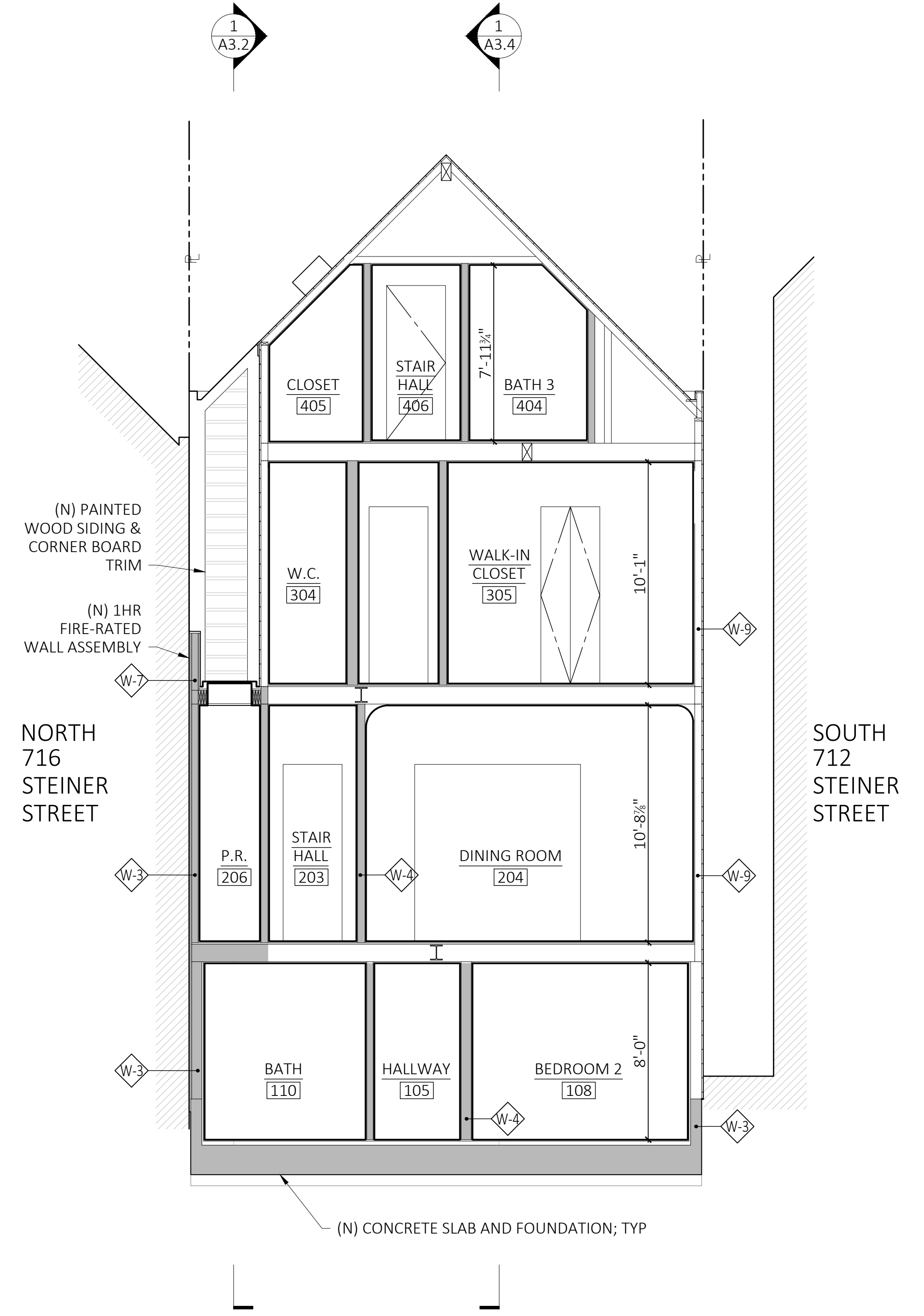


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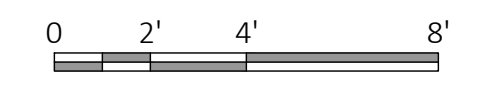
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TRANSVERSE BUILDING SECTION - EXISTING & DEMOLITION 2
1/4" = 1'-0"



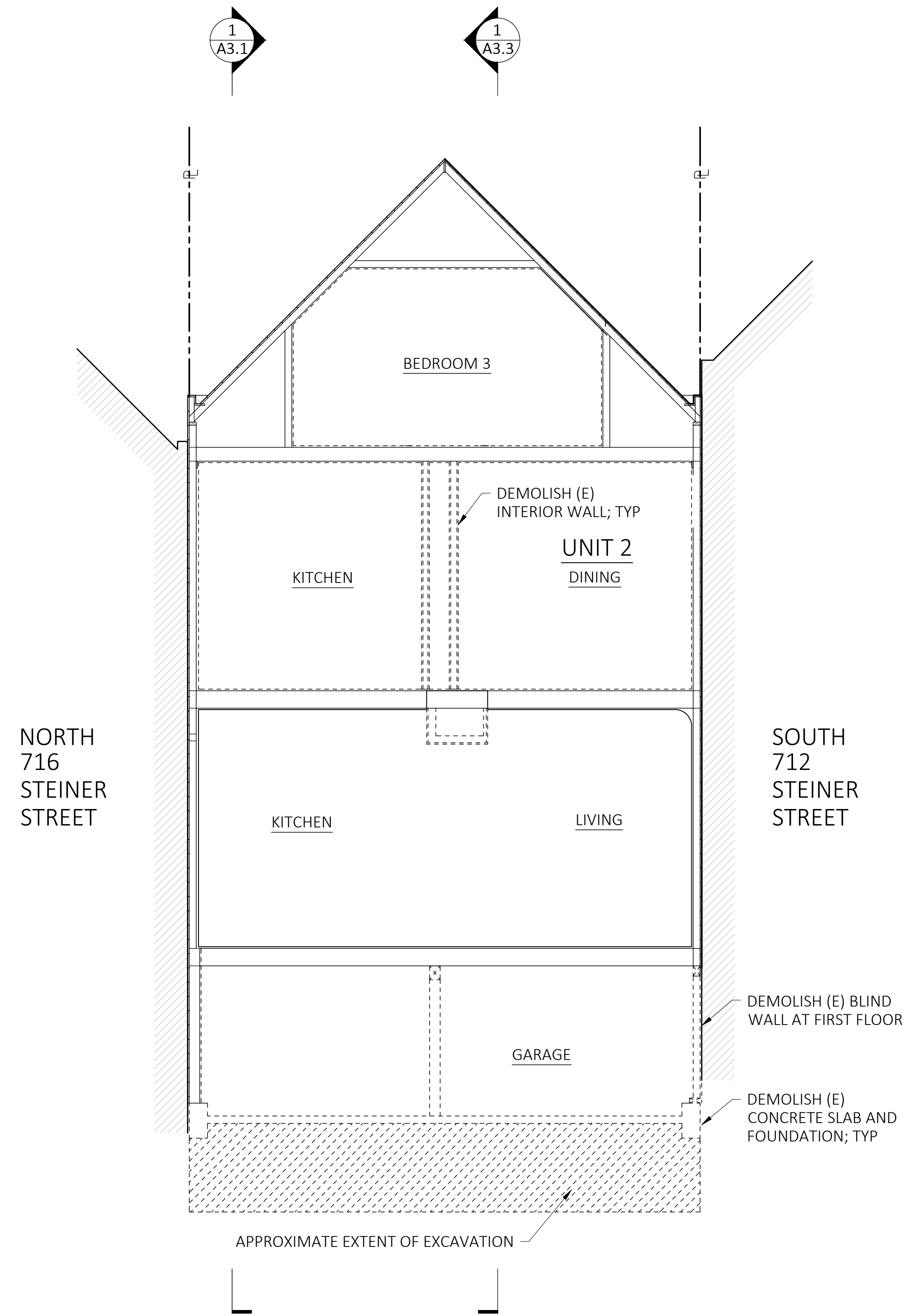
TRANSVERSE BUILDING SECTION - PROPOSED 1
1/4" = 1'-0"



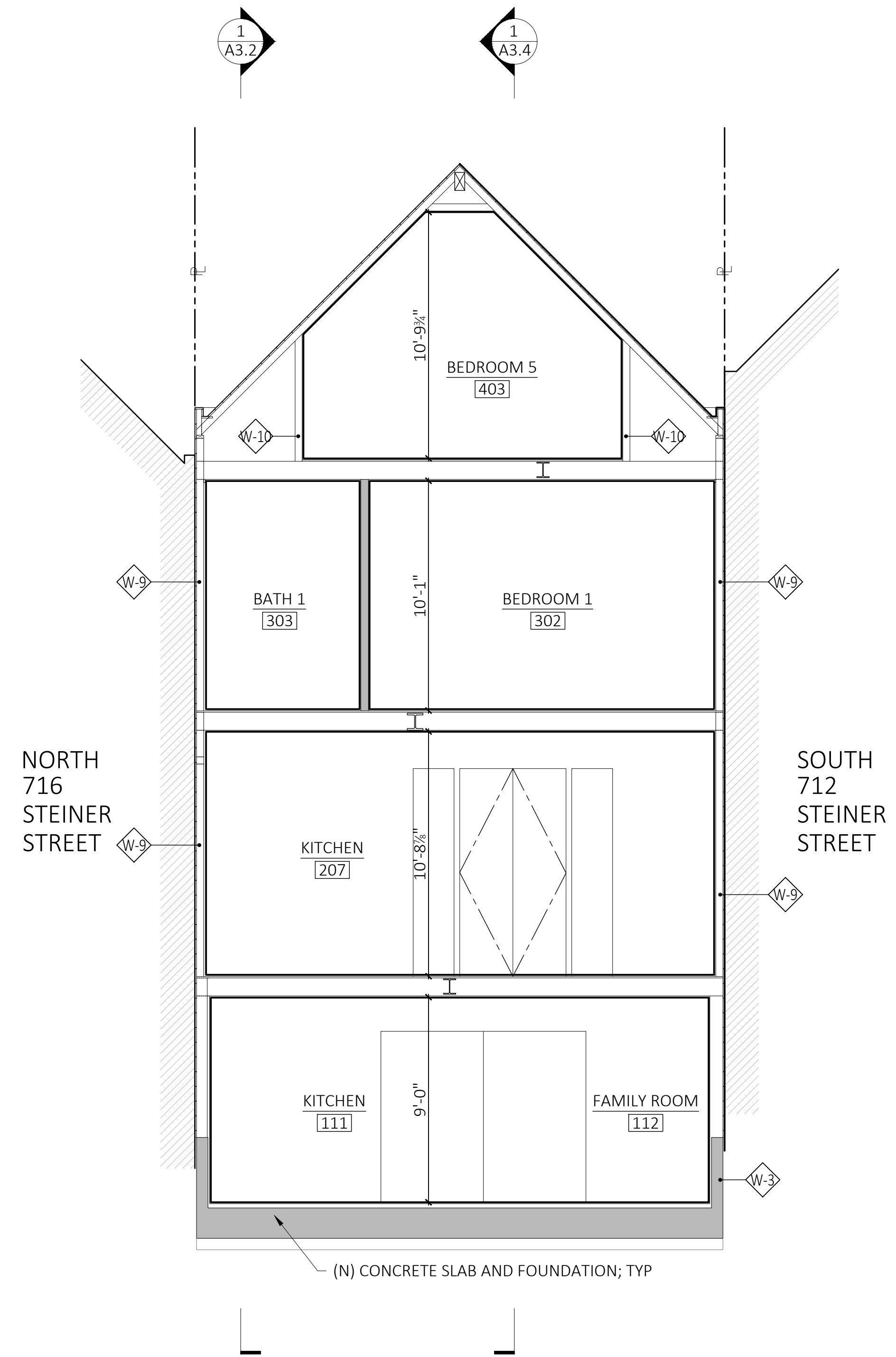
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|---------------------|----------|
| ISSUANCE | DATE |
| CofA/VARIANCE | 05.26.21 |
| BUILDING PERMIT | 03.29.21 |
| MILLS ACT APP. | 05.26.21 |
| PLAN CHECK | 08.24.21 |
| RESPONSE | |
| JOB # | 2004 |
| BUILDING SECTIONS | |
| A3.7 | |
| SCALE: 1/4" = 1'-0" | |

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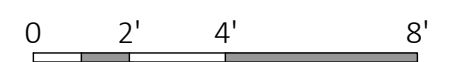
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TRANSVERSE BUILDING SECTION - EXISTING & DEMOLITION 2
1/4" = 1'-0"



TRANSVERSE BUILDING SECTION - PROPOSED 1
1/4" = 1'-0"



| ISSUANCE | DATE |
|-----------------|----------|
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| PLAN CHECK | 08.24.21 |
| RESPONSE | |

JOB # 2004

SECTIONS

A3.8

SCALE: 1/4" = 1'-0"

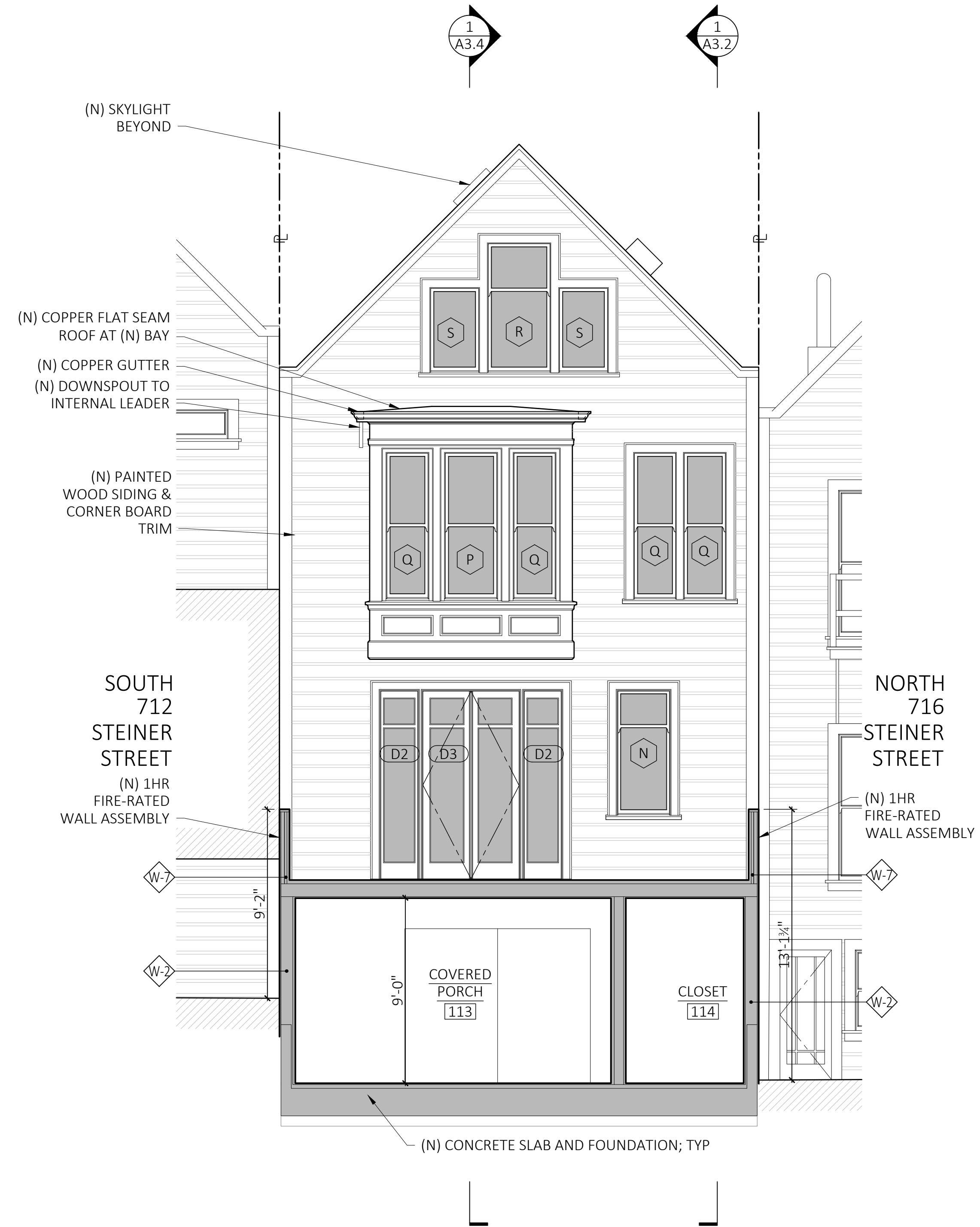


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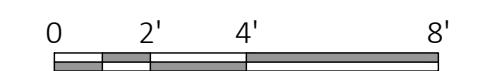


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TRANSVERSE BUILDING SECTION - PROPOSED

1/4" = 1'-0" 1



| | |
|-----------------|----------|
| ISSUANCE | DATE |
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| RESPONCE | |

JOB # 2004

BUILDING SECTION

A3.9

SCALE: 1/4" = 1'-0"

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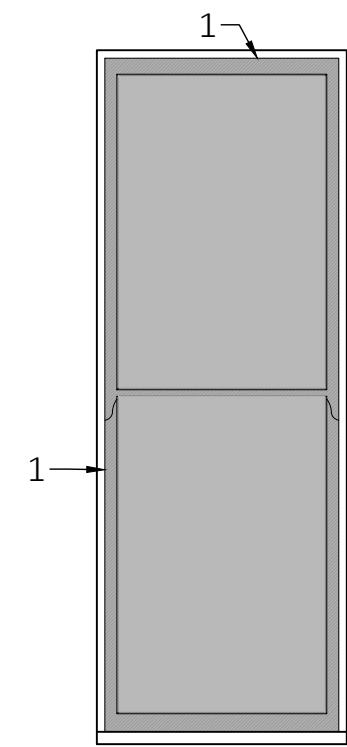
EXISTING FRONT BAY WINDOW SASH 2

WINDOW NOTES

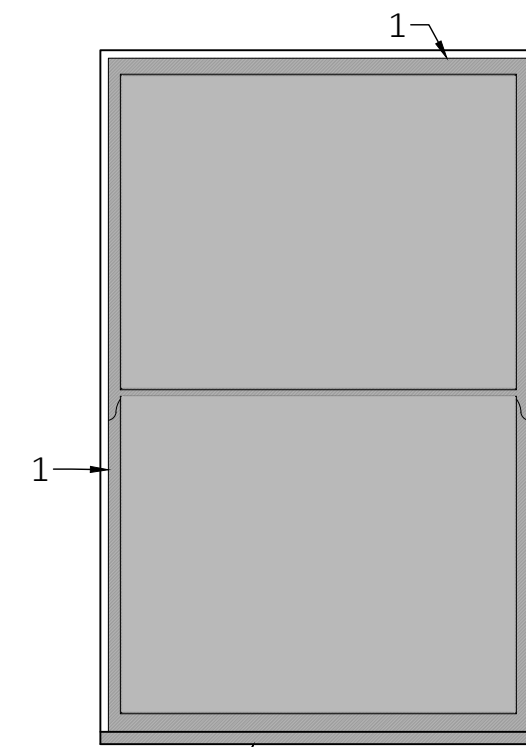
1. REPLACE WINDOW SASH WITH NEW, MATCH EXISTING PROFILES;
REPLACE GLAZING WITH CLEAR 1/4" LAMINATED GLASS (CLOSEST
CODE-COMPLIANT MODERN EQUIVALENT TO EXISTING)
2. REFURBISH WINDOW SILL, MATCH EXISTING
3. REFURBISH LEADED GLASS

*WINDOW E IS NOT ORIGINAL

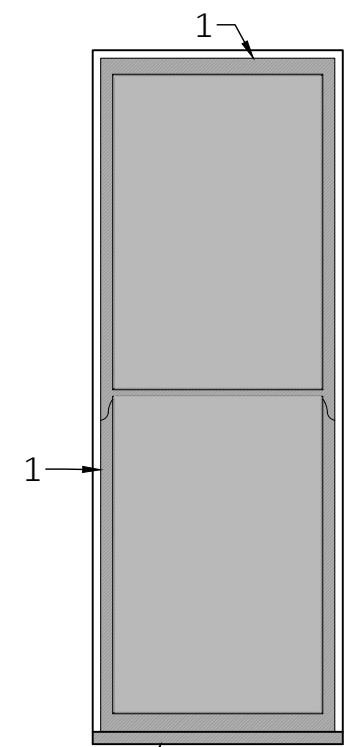
EXISTING WINDOWS



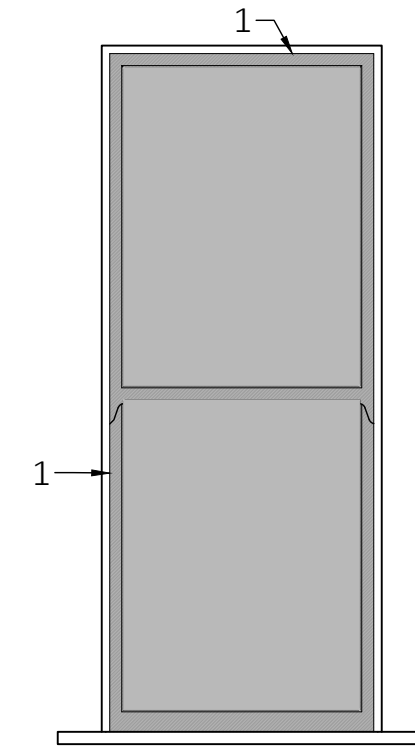
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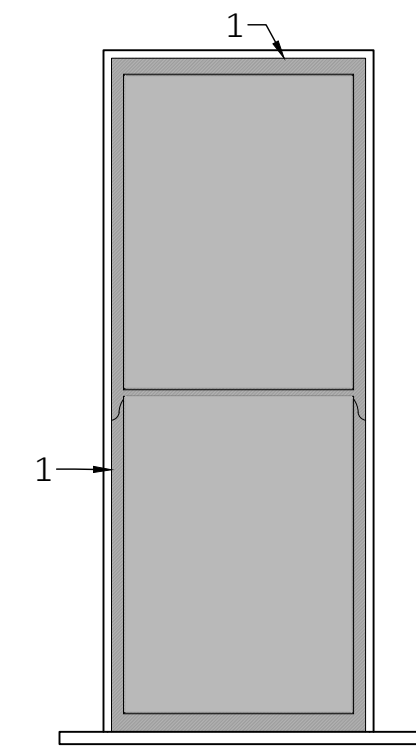
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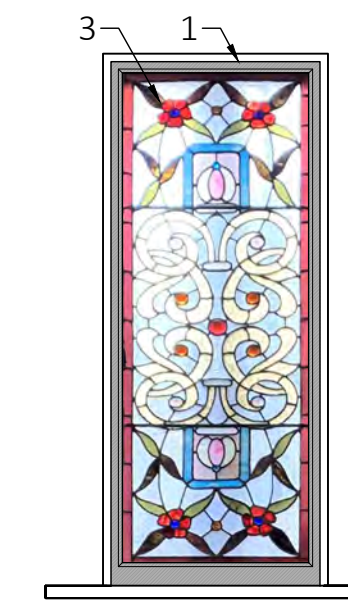
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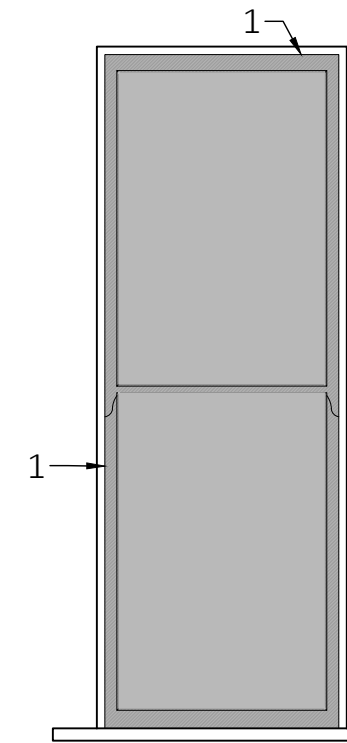
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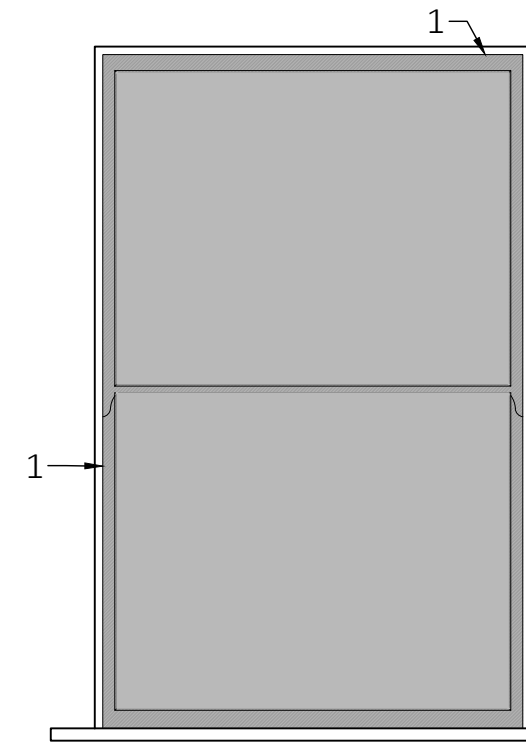
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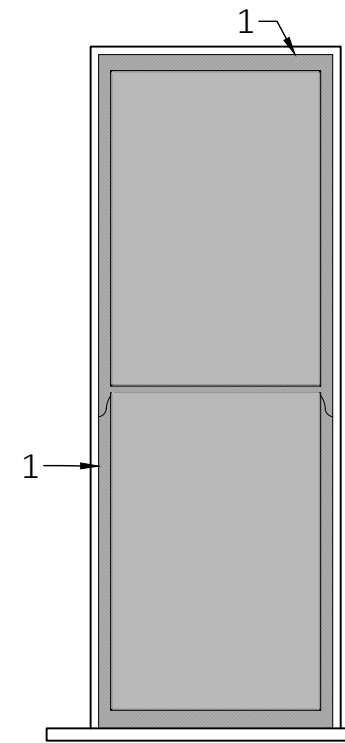
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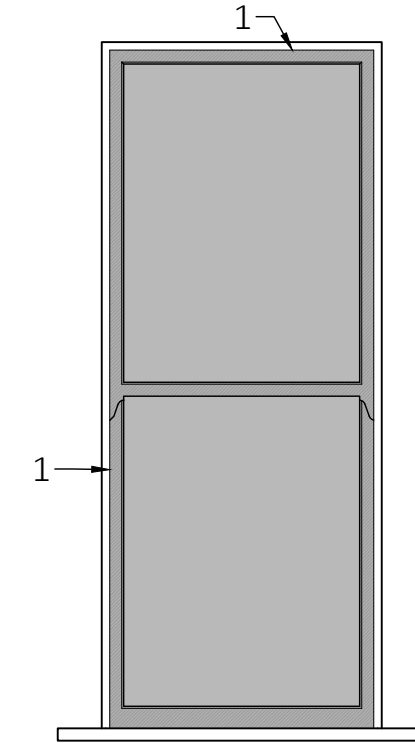
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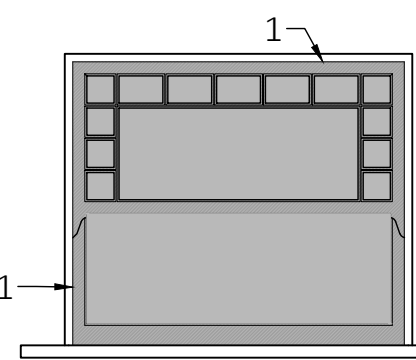
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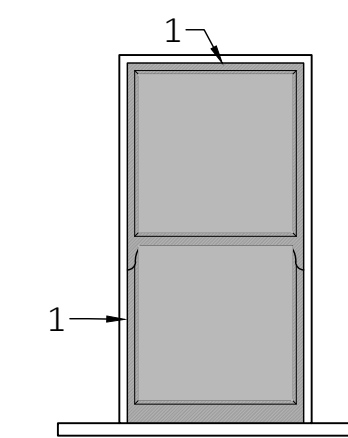
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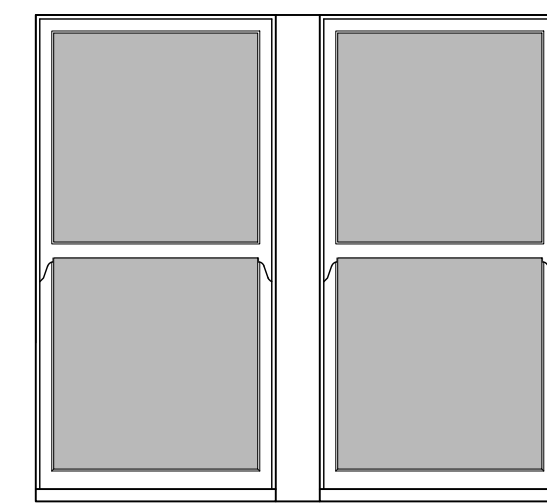


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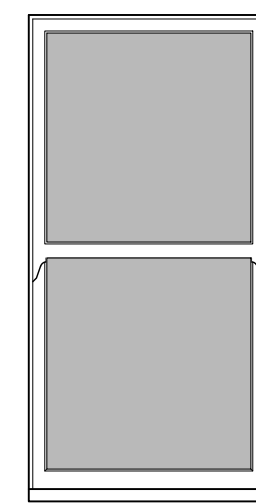


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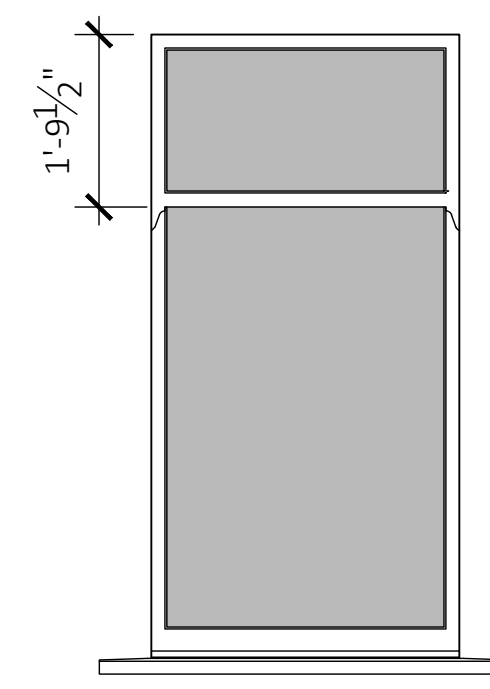
NEW WINDOWS



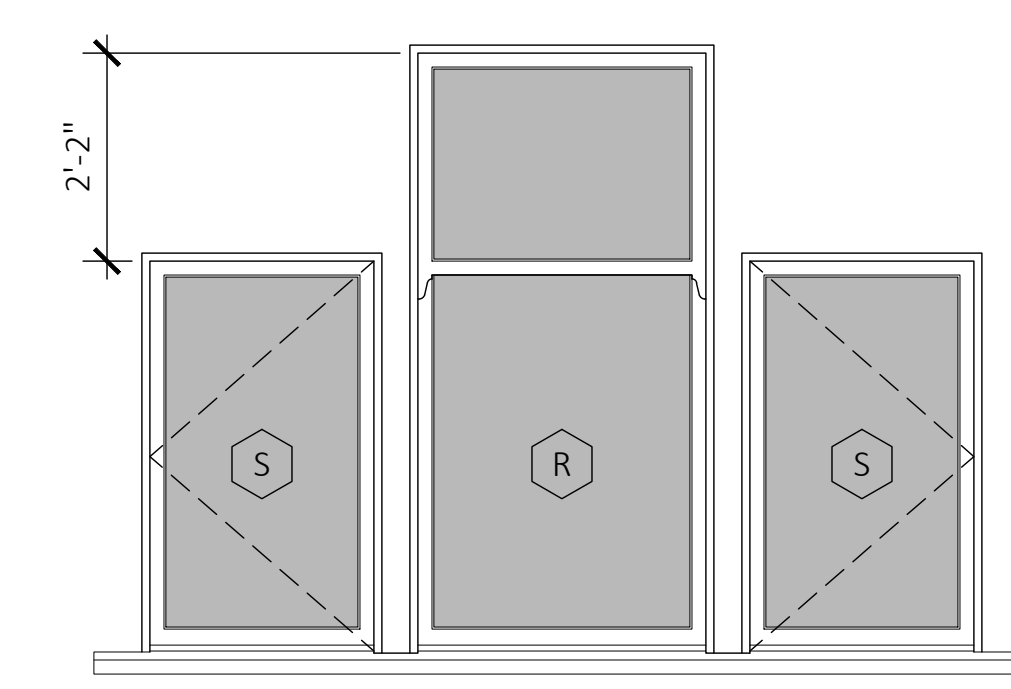
TYPE 1
PAIRED DOUBLE-HUNG



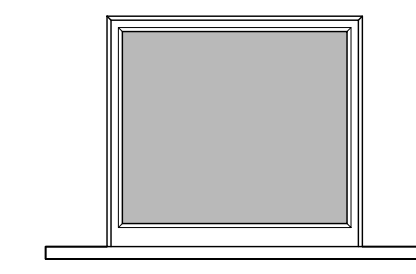
TYPE 2
DOUBLE-HUNG



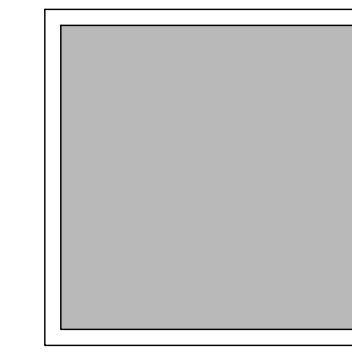
TYPE 3
COTTAGE STYLE
DOUBLE-HUNG



TYPE 4
CASEMENT - DOUBLE-HUNG - CASEMENT



TYPE 5
AWNING



TYPE 6
SKYLIGHT

WINDOW SCHEDULE

| # | TYPE | DESCRIPTION | SIZE | | GLAZING | | | WINDOW | | | DETAILS | | | NOTES |
|---|------|-------------|------------------|----------------|---------|---------|------|----------|------------|------------|---------|------|------|---|
| | | | WIDTH | HEIGHT | GLASS | U-VALUE | SHGC | MATERIAL | INT FINISH | EXT FINISH | SILL | HEAD | JAMB | |
| A | 1 | | 2'-6" | 5'-0" | | | | WOOD | PAINT | PAINT | TBD | TBD | TBD | NEW WINDOW |
| B | 2 | | MATCH WINDOW "F" | 5'-0" | | | | WOOD | PAINT | PAINT | TBD | TBD | TBD | NEW WINDOW |
| C | N/A | | NO CHANGE | NO CHANGE | - | - | - | WOOD | PAINT | PAINT | TBD | TBD | TBD | EXISTING WINDOW; SEE ENLARGED WINDOW ELEVATIONS |
| D | N/A | | NO CHANGE | NO CHANGE | - | - | - | WOOD | PAINT | PAINT | TBD | TBD | TBD | EXISTING WINDOW; SEE ENLARGED WINDOW ELEVATIONS |
| E | N/A | | NO CHANGE | NO CHANGE | - | - | - | WOOD | PAINT | PAINT | TBD | TBD | TBD | EXISTING WINDOW; SEE ENLARGED WINDOW ELEVATIONS |
| F | N/A | | NO CHANGE | NO CHANGE | - | - | - | WOOD | PAINT | PAINT | TBD | TBD | TBD | EXISTING WINDOW; SEE ENLARGED WINDOW ELEVATIONS |
| G | N/A | | NO CHANGE | NO CHANGE | - | - | - | WOOD | PAINT | PAINT | TBD | TBD | TBD | EXISTING WINDOW; SEE ENLARGED WINDOW ELEVATIONS |
| H | N/A | | NO CHANGE | NO CHANGE | - | - | - | WOOD | PAINT | PAINT | TBD | TBD | TBD | EXISTING WINDOW; SEE ENLARGED WINDOW ELEVATIONS |
| I | N/A | | NO CHANGE | NO CHANGE | - | - | - | WOOD | PAINT | PAINT | TBD | TBD | TBD | EXISTING WINDOW; SEE ENLARGED WINDOW ELEVATIONS |
| J | N/A | | NO CHANGE | NO CHANGE | - | - | - | WOOD | PAINT | PAINT | TBD | TBD | TBD | EXISTING WINDOW; SEE ENLARGED WINDOW ELEVATIONS |
| K | N/A | | NO CHANGE | NO CHANGE | - | - | - | WOOD | PAINT | PAINT | TBD | TBD | TBD | EXISTING WINDOW; SEE ENLARGED WINDOW ELEVATIONS |
| L | N/A | | NO CHANGE | NO CHANGE | - | - | - | WOOD | PAINT | PAINT | TBD | TBD | TBD | EXISTING WINDOW; SEE ENLARGED WINDOW ELEVATIONS |
| M | N/A | | NO CHANGE | NO CHANGE | - | - | - | WOOD | PAINT | PAINT | TBD | TBD | TBD | EXISTING WINDOW; SEE ENLARGED WINDOW ELEVATIONS |
| N | 3 | | 2'-10" | 6'-7" | | | | WOOD | PAINT | PAINT | TBD | TBD | TBD | NEW WINDOW |
| P | 2 | | 2'-6" | 7'-2" | | | | WOOD | PAINT | PAINT | TBD | TBD | TBD | NEW DOUBLE-HUNG WINDOW |
| Q | 2 | | 2'-0" | 7'-2" | | | | WOOD | PAINT | PAINT | TBD | TBD | TBD | NEW DOUBLE-HUNG WINDOW |
| R | 4 | | 3'-0" | 6'-3" | | | | WOOD | PAINT | PAINT | TBD | TBD | TBD | NEW COTTAGE STYLE DOUBLE-HUNG WINDOW |
| S | 4 | | 2'-4" | 4'-1" | | | | WOOD | PAINT | PAINT | TBD | TBD | TBD | NEW CASEMENT WINDOW |
| T | 2 | | MATCH EXISTING | MATCH EXISTING | - | - | - | WOOD | PAINT | PAINT | TBD | TBD | TBD | NEW WINDOW |
| U | 5 | | 1'-11" | 2'-4 3/4" | - | - | - | WOOD | PAINT | PAINT | TBD | TBD | TBD | NEW WINDOW |
| V | N/A | | MATCH EXISTING | MATCH EXISTING | - | - | - | WOOD | PAINT | PAINT | TBD | TBD | TBD | EXISTING WINDOW; SEE ENLARGED WINDOW ELEVATIONS |



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| RESPONSE | |

JOB # 2004

WINDOW SCHEDULES & TYPES

A4.1

SCALE: NA

ENLARGED WINDOW ELEVATIONS 1

1/2" = 1'-0"

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FIG. 3: WINDOWS WITH TYPICAL INTERIOR SASH CONDITIONS SUCH AS WATER DAMAGE

CORNER CUT OUT OF WINDOW RAIL AND BOTTOM SASH

FIG. 2: WINDOW J

BROKEN BEVELED GLAZING
FIG. 1: FRONT DOOR

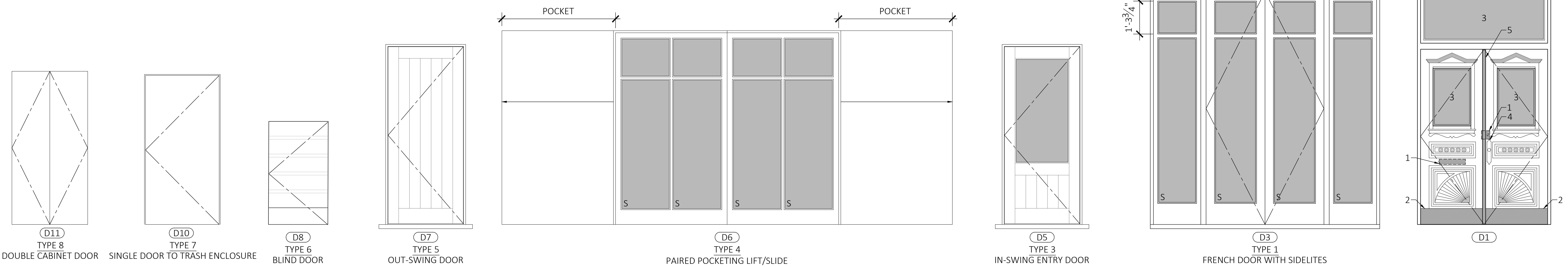
DOOR NOTES

1. PATCH AND INFILL CUT-OUT IN DOOR
 2. REPLACE BOTTOM RAIL
 3. REPLACE GLAZING
 4. NEW DOOR HARDWARE
 5. REPAIR AND REFURBISH ASTRAGAL
 6. "S" DENOTES SAFETY GLAZING
- EXISTING DOOR

EXTERIOR DOOR SCHEDULE

| # | TYPE | DESCRIPTION | SIZE | | | DOOR | | | GLAZING | | | HARDWARE TYPE | DETAILS | | | NOTES |
|-----|------|-----------------------------|-----------|------------|-----------|----------|------------|------------|---------|---------|------|---------------|---------|------|------|-------|
| | | | WIDTH | HEIGHT | THICKNESS | MATERIAL | INT FINISH | EXT FINISH | GLASS | U-VALUE | SHGC | | TH | HEAD | JAMB | |
| D1 | N/A | (E) FRENCH ENTRY DOOR | NO CHANGE | NO CHANGE | NO CHANGE | WOOD | PAINT | PAINT | | | | ENTRY | | | | |
| D2 | | NOT USED | | | | | | | | | | | | | | |
| D3 | 1 | OUT-SWING FRENCH DOOR | 4'-8" | 9'-2" | | WOOD | PAINT | PAINT | | | | MULTI-POINT | | | | |
| D4 | | NOT USED | | | | | | | | | | | | | | |
| D5 | 3 | IN-SWING ENTRY DOOR | 3'-0" | 7'-0" | | WOOD | PAINT | PAINT | | | | | | | | |
| D6 | 4 | PAIRED POCKETING LIFT/SLIDE | 9'-1" | 7'-8" | | WOOD | PAINT | PAINT | lowE2 | | | | | | | |
| D7 | 5 | OUT-SWING DOOR | 2'-6" | 7'-8" | | WOOD | PAINT | PAINT | | | | | | | | |
| D8 | 6 | BLIND DOOR | 2'-4" | 4'-1" | | WOOD | PAINT | PAINT | | | | | | | | |
| D9 | 3 | IN-SWING ENTRY DOOR | 2'-11" | 6'-9" | | WOOD | PAINT | PAINT | | | | | | | | |
| D10 | 7 | SINGLE TRASH ENCLOSURE DOOR | 3'-0" | 5'-10 3/4" | | WOOD | PAINT | PAINT | | | | | | | | |
| D11 | 8 | DOUBLE CABINET DOOR | 3'-0" | 5'-10 3/4" | | WOOD | PAINT | PAINT | | | | | | | | |

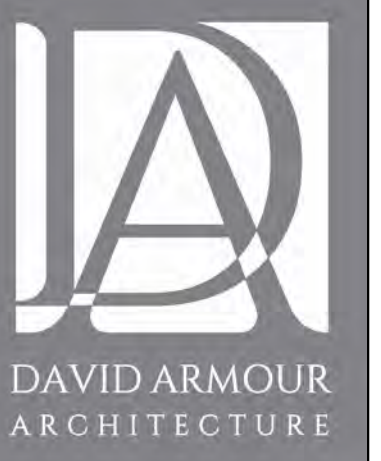
NEW DOORS



ENLARGED DOOR ELEVATIONS
1/2" = 1'-0" 1

SKYLIGHT SCHEDULE

| # | TYPE | DESCRIPTION | MANUFACTURER | MODEL | SIZE | | GLAZING | | | MATERIAL | FINISH | DETAIL | NOTES |
|----|------|-------------------------------|----------------|---------|---------|---------|------------|---------|------|----------|----------|--------|-------|
| | | | | | WIDTH | HEIGHT | GLASS | U-VALUE | SHGC | | | | |
| Z1 | 1 | LOW PROFILE SYSTEM DECK MOUNT | WASCO BY VELUX | LPG | 2-3" | 2-3" | LAM SAFETY | | | ALUMINUM | ANODIZED | TBD | |
| Z2 | 1 | LOW PROFILE SYSTEM DECK MOUNT | WASCO BY VELUX | LPG | 2-3" | 2-3" | LAM SAFETY | | | ALUMINUM | ANODIZED | TBD | |
| Z3 | 1 | LOW PROFILE SYSTEM DECK MOUNT | WASCO BY VELUX | LPG | 2-3" | 2-3" | LAM SAFETY | | | ALUMINUM | ANODIZED | TBD | |
| Z4 | 2 | | VELUX | TLR-014 | BY MANF | BY MANF | LAM SAFETY | | | ALUMINUM | ANODIZED | | |



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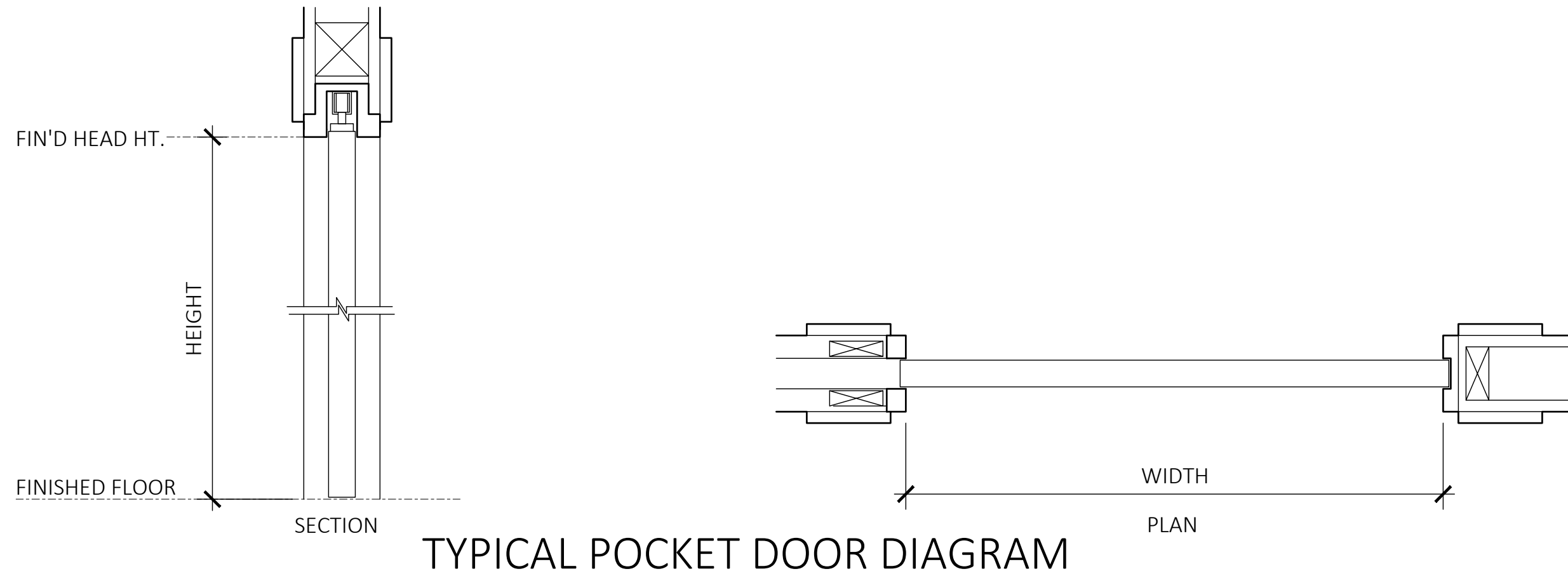
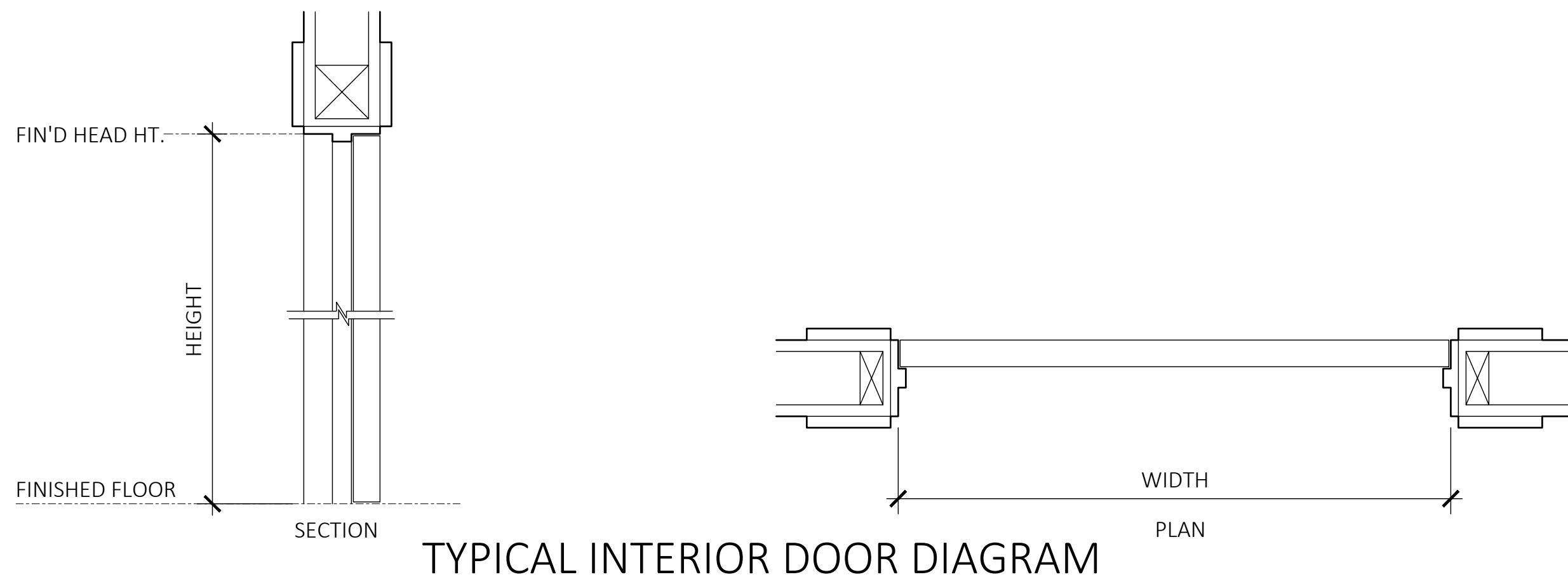
JOB # 2004

EXTERIOR DOOR AND SKYLIGHT SCHEDULE & TYPES

A4.2

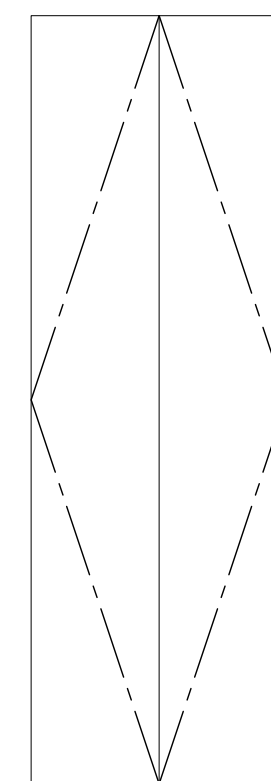
SCALE: NA

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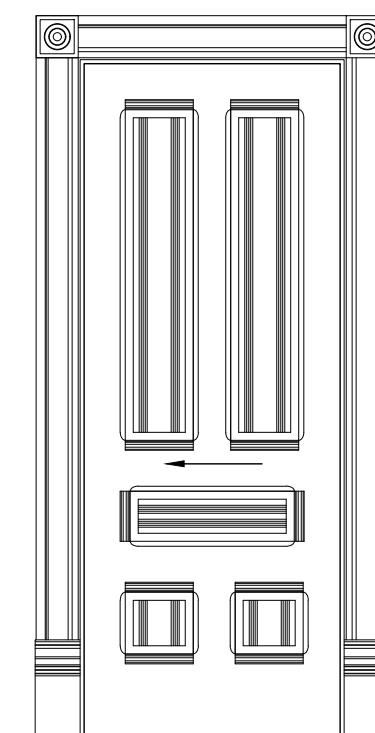


| INTERIOR DOOR SCHEDULE | | | | | | | | | | | | | |
|------------------------|------|--------------------|-----------|--------|-----------|----------|--------------|-------------|---------------|---------|--------|------|-------|
| # | TYPE | DESCRIPTION | SIZE | | | DOOR | | | HARDWARE TYPE | DETAILS | | | NOTES |
| | | | WIDTH | HEIGHT | THICKNESS | MATERIAL | FRAME FINISH | DOOR FINISH | | HEAD | SADDLE | JAMB | |
| 101 | | NOT USED | | | | | | | | | | | |
| 102 | | NOT USED | | | | | | | | | | | |
| 103 | 2 | SINGLE | 3'-0" | 7'-0" | 1-3/4" | | | | | | | | |
| 104 | 2 | SINGLE | 2'-8" | 7'-0" | 1-3/4" | | | | | | | | |
| 105 | | NOT USED | | | | | | | | | | | |
| 106 | 2 | SINGLE | 2'-8" | 7'-0" | 1-3/4" | | | | | | | | |
| 107 | | NOT USED | | | | | | | | | | | |
| 108 | 3 | DOUBLE POCKET DOOR | 6'-2" | 7'-0" | 1-3/4" | | | | | | | | |
| 109 | | NOT USED | | | | | | | | | | | |
| 110 | 2 | SINGLE | 2'-6" | 7'-0" | 1-3/4" | | | | | | | | |
| 111 | | NOT USED | | | | | | | | | | | |
| 112 | 2 | SINGLE | 2'-10" | 7'-0" | 1-3/4" | | | | | | | | |
| 113 | | NOT USED | | | | | | | | | | | |
| 201 | 2 | SINGLE | (E) | (E) | 1-3/4" | | | | | | | | |
| 202 | 2 | SINGLE | 2'-4" | 7'-0" | 1-3/4" | | | | | | | | |
| 203 | 6 | SINGLE POCKET DOOR | 2'-9" | 7'-0" | 1-3/4" | | | | | | | | |
| 301 | 2 | SINGLE | 2'-8" | 7'-0" | 1-3/4" | | | | | | | | |
| 302 | 6 | SINGLE POCKET DOOR | 2'-6" | 7'-0" | 1-3/4" | | | | | | | | |
| 303 | | NOT USED | | | | | | | | | | | |
| 304 | 2 | SINGLE | 2'-4" | 7'-0" | 1-3/4" | | | | | | | | |
| 305 | 7 | DOUBLE DOOR | 2'-8" | 7'-0" | 1-3/4" | | | | | | | | |
| 306 | 3 | DOUBLE POCKET DOOR | 4'-6" | 7'-0" | 1-3/4" | | | | | | | | |
| 307 | 2 | SINGLE | 2'-4" | 7'-0" | 1-3/4" | | | | | | | | |
| 308 | 2 | SINGLE | 2'-8" | 7'-0" | 1-3/4" | | | | | | | | |
| 309 | 2 | SINGLE | 2'-8" | 7'-0" | 1-3/4" | | | | | | | | |
| 401 | 2 | SINGLE | 2'-8" | 7'-0" | 1-3/4" | | | | | | | | |
| 402 | 2 | SINGLE | 2'-0 3/4" | 7'-0" | 1-3/4" | | | | | | | | |
| 403 | 2 | SINGLE | 2'-0 3/4" | 7'-0" | 1-3/4" | | | | | | | | |
| 404 | 2 | SINGLE | 2'-6" | 7'-0" | 1-3/4" | | | | | | | | |
| 405 | 2 | SINGLE | 2'-4" | 7'-0" | 1-3/4" | | | | | | | | |
| 406 | 2 | SINGLE | 2'-8" | 7'-0" | 1-3/4" | | | | | | | | |
| 407 | | NOT USED | | | | | | | | | | | |

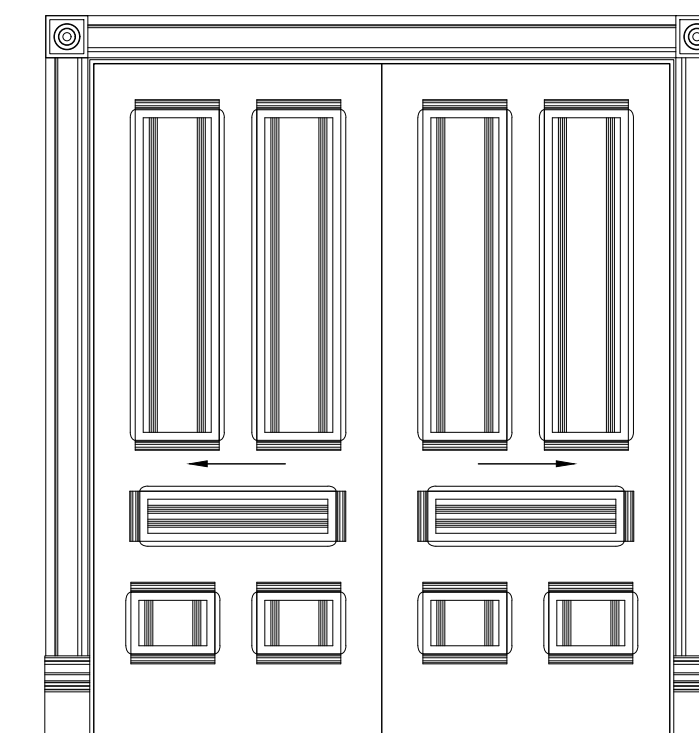
DOOR NOTES



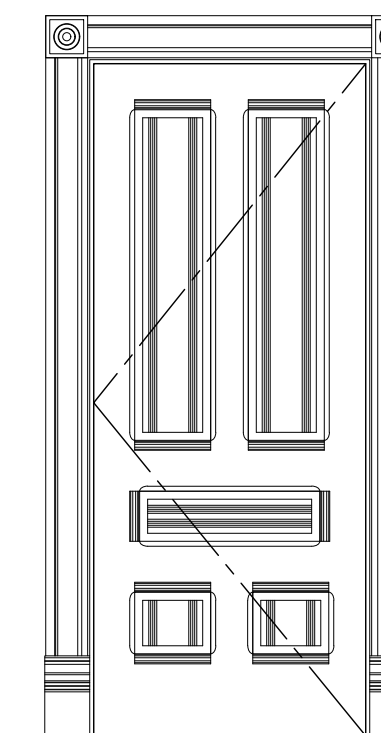
TYPE 7
DOUBLE DOOR



TYPE 6
SINGLE POCKET DOOR



TYPE 3
DOUBLE POCKET DOOR



TYPE 2
SINGLE DOOR

ENLARGED DOOR ELEVATIONS

1/2" = 1'-0"

1



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| PLAN CHECK | 08.24.21 |
| RESPONSE | |

JOB # 2004

INTERIOR DOOR AND
OPENING SCHEDULE & TYPES

A4.3

SCALE: NA

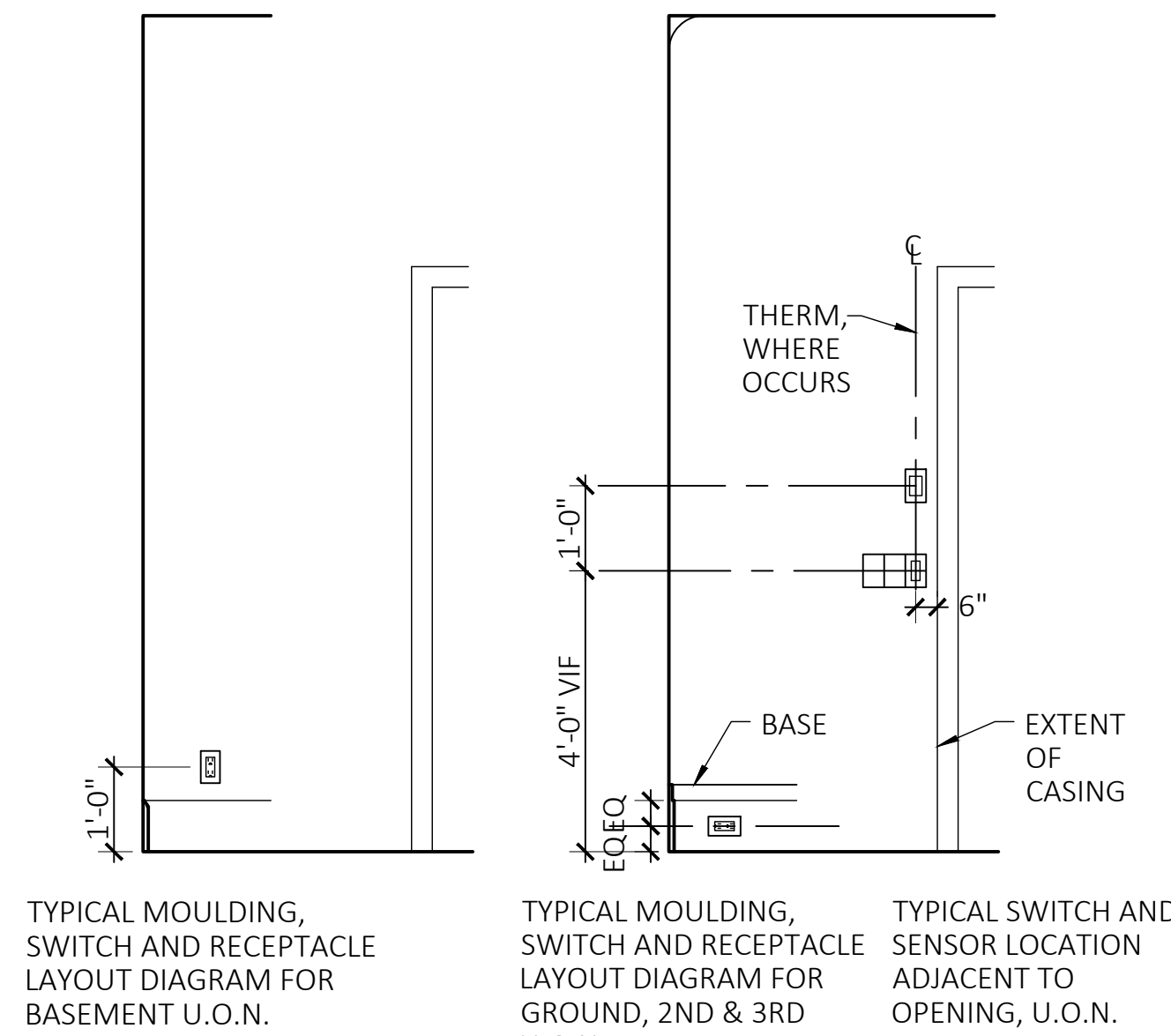
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MECHANICAL/PLUMBING NOTES

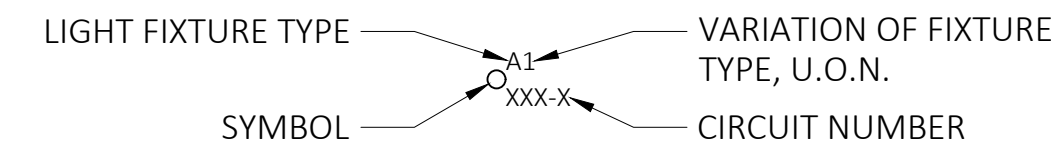
- ALL EXISTING INTERIOR MECHANICAL AND PLUMBING INFRASTRUCTURE / FIXTURES TO BE DEMOLISHED.
- PROVIDE W.C. VENTILATION DIRECT TO EXTERIOR, BACKDRAFT PROTECTED PER CBC 1203.5.2.1
- FURNACE COMPARTMENT: PROVIDE COMBUSTION AIR VENTS WITHIN 12 INCHES OF FLOOR AND CEILING PER CMC 701.11
- CLOTHES DRYER: MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACK-DRAFT DAMPER. EXHAUST DUCT IS LIMITED TO 14'-0" WITH TWO ELBOWS. THIS SHALL BE REDUCED 2'-0" FOR EVERY ELBOW IN EXCESS OF TWO. PROVIDE MINIMUM 4" DIAMETER, SMOOTH, METAL DUCT, AND SHOW DUCT ROUTE ON PLAN. CMC §504.4.2. AN OPENING NOT LESS THAN 100 SQUARE INCHES FOR MAKEUP AIR SHALL BE PROVIDED IN THE DOOR OR BY OTHER APPROVED MEANS PER CMC §504.4.1(1)
- ENVIRONMENTAL AIR DUCTS SHALL TERMINATE 3 FEET FROM THE PROPERTY LINE AND 3 FEET FROM OPENINGS INTO THE BUILDING PER CMC §502.2.1 AND PROVIDE WITH BACK-DRAFT DAMPERS PER CMC §504.1.1. EXHAUST SHALL NOT DISCHARGE ONTO A PUBLIC WALKWAY
- GARAGE VENTILATION: 200 SQ. IN. OPEN FREE AREA TO BE PROVIDED FOR GARAGE VENTILATION
- PROVIDE A MECHANICAL VENTILATING SYSTEM FOR ALL BATHROOMS CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR PER CBC 1203.3
- GAS VENT TERMINATIONS SHALL MEET THE REQUIREMENTS OF CMC §802.6 AND TERMINATE A MINIMUM 4' FROM THE PROPERTY LINE PER SFMC §802.6.1. THROUGH WALL VENT TERMINATION PER SFMC §802.2.6
- COMPLY WITH SHAFT ENCLOSURE & FIRE / SMOKE DAMPER REQUIREMENTS PER CMC 711 & 713
- PROVIDE 100-SQ. INCH MIN. MAKEUP AIR OPENING FOR DOMESTIC DRYER PER CMC 504.3.2
- PROVIDE COMBUSTION AIR OPENINGS FOR FUEL BURNING EQUIPMENTS PER CMC 702, 703, 704 AND TABLE 7-1
- PROVIDE MIN. 26 GAUGE STEEL DUCT WITHIN GARAGE SPACE.
- DRYER VENT DUCT TO BE 4" DIA. MAX.
- GAS-FIRED APPLIANCES SHALL HAVE INTERMITTENT IGNITION DEVICE. GAS SHUT OFF VALVES SHALL BE WITHIN 3 FEET OF APPLIANCE SERVED. WATER HEATER BLANKET INSULATION: MIN. R-12. FIRST FIVE FEET OF PIPES CLOSEST TO WH: MIN. R-4
- PROVIDE 18" MIN. PLATFORM & SEISMIC STRAPS FOR WATER HEATER.
- BUILDING SHALL COMPLY WITH THE REQUIREMENTS OF ASHRAE 62.2, INCLUDING WHOLE BUILDING VENTILATION AND LOCAL EXHAUST REQUIREMENTS PER CALIFORNIA ENERGY CODE 150.0(o), SEE TABLE 4.1 BELOW FOR MIN. CFM REQUIREMENTS
- GAS FIRED WATER HEATER COMPARTMENTS WITHIN A BUILDING SHALL HAVE AT LEAST TWO OPENINGS LOCATED WITHIN THE UPPER AND LOWER 12" OF THE ENCLOSURE FOR COMBUSTION AIR. EACH OPENING SHALL BE SIZED AT 1 SQ. INCH PER 1,000 BTU/H WITH AN AREA OF AT LEAST 100 SQ. INCH. CPC §506.3
- GAS FIRED WATER HEATER MUST BE STRAPPED AT UPPER ONE-THIRD (1/3) AND THE LOWER ONE-THIRD (1/3) FOR LATERAL SUPPORT. CPC § 507.2
- PER CMC §304.4 A.ATTIC ACCESS OPENING OF 22"x30" OR LARGER TO ACCOMMODATE THE REMOVAL OF THE LARGEST EQUIPMENT AND LOCATED NOT OVER 20'-0" FROM EQUIPMENT; PROVIDE UNOBSTRUCTED PASSAGE 24" WIDE WITH SOLID CONTINUOUS FLOORING FROM ACCESS TO EQUIPMENT/CONTROL PANEL; PROVIDE A LEVEL, UNOBSTRUCTED WORK PLATFORM, MINIMUM 30"x30" IN FRONT OF THE EQUIPMENT WITH 30" HEADROOM; PROVIDE A LIGHT OVER EQUIPMENT WITH SWITCH AT ACCESS
- DOMESTIC RANGE HOOD VENTS SHALL MEET THE REQUIREMENTS OF CMC §504.3 AND COMPLY WITH CMC TABLE §403.7 AND THE CALIFORNIA ENERGY CODE
-

LIGHTING/ELECTRICAL NOTES

- ALL EXISTING ELECTRICAL/ POWER WIRING, SWITCHES & RECEPTACLES TO BE REMOVED AND REPLACED, UNLESS OTHERWISE NOTED.
- ALL INDOOR AND OUTDOOR LIGHTING FOR NEW HOMES MUST BE HIGH EFFICACY PER 2019 CALIFORNIA ENERGY CODE.
- PLEASE VERIFY TRIM SELECTION WITH ARCHITECT BEFORE PURCHASING UNIT
- A RECEPTACLE OUTLET MUST BE INSTALLED FOR EVERY KITCHEN AND DINING COUNTER WALL SPACE, 12-INCHES OR WIDER. RECEPTACLES MUST BE INSTALLED SO THAT NO POINT ALONG THE COUNTER WALL SPACE IS MORE THAN 24-INCHES (2-FEET), MEASURED HORIZONTALLY, FROM A RECEPTACLE OUTLET. CEC ARTICLE 210.52(C)(1).
- PROVIDE GROUND-FAULT CIRCUIT-INTERRUPTERS (GFI) PROTECTION FOR 15-AMP AND 20-AMP OUTLETS IN BATHROOM, ON COUNTER-TOP OF A KITCHEN SINK, ON ISLAND OF KITCHEN, WITHIN 6'-0" OF THE OUTER EDGE OF A WET BAR/LAUNDRY/UTILITY SINK, OUTDOOR, IN GARAGE, AND IN BASEMENT. CEC ARTICLE 210.8(A).
- PROVIDE COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTERS (AFCI) PROTECTION FOR ALL NEW OUTLETS (LIGHTS, SMOKE/CO ALARMS, RECEPTACLES) IN ALL ROOMS EXCEPT KITCHENS, BATHROOMS, GARAGE, AND BASEMENT. CEC ARTICLE 210.12
- NEW RECEPTACLES SHALL BE TAMPERED-PROOF
- PROVIDE AT LEAST ONE ELECTRICAL RECEPTACLE OUTLET ACCESSIBLE AT GRADE LEVEL AND NOT MORE THAN 6'-6" ABOVE GRADE LEVEL AT FRONT AND BACK OF BUILDING. RECEPTACLE OUTLETS TO BE GFI PROTECTED WITH WEATHERPROOF CASINGS. CEC ARTICLE 210-52(2).
- PROVIDE ONE LIGHT OUTLET (WALL SWITCH-CONTROLLED) ON THE EXTERIOR SIDE OF OUTDOOR ENTRANCES AND EXITS. CEC ARTICLE 210- 70(2)(B).
- CARBON MONOXIDE DETECTION: SHALL BE INSTALLED IN ACCORDANCE WITH CBC SEC. 915
- SMOKE ALARM DETECTION: SHALL BE INSTALLED IN ACCORDANCE WITH BATTERY BACKUP PER CBC SEC. 907.2.11.2



LIGHTING LEGEND



CEILING

- A XXX-X RECESSED HIGH EFFICACY LIGHT
- B XXX-X RECESSED ADJUSTABLE HIGH EFFICACY LIGHT
- C XXX-X CEILING MOUNTED FIXTURE
- D XXX-X PENDANT
- E XXX-X CHANDELIER
- F XXX CEILING MOUNTED FLUORESCENT LIGHT

WALL

- G XXX-X WALL MOUNTED FIXTURE
- H XXX-X STEP LIGHT
- I XXX-X CLOSET LIGHT

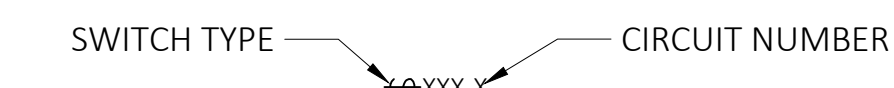
CABINETRY

- K XXX-X RECESSED CABINET LIGHT

LANDSCAPE

- L XXX-X PATHWAY LIGHT/UPLIGHT

LIGHTING CONTROL LEGEND



- XXX-X SINGLE POLE SWITCH
- XXX-X MULTI-CIRCUIT SWITCH
- XXX-X SWITCH WITH VACANCY SENSOR
- XXX-X TIMER SWITCH
- XXX-X JAMB SWITCH
- XXX-X EXTERIOR SWITCH
- XXX-X SINGLE POLE DIMMER
- XXX-X MULTI-CIRCUIT DIMMER
- XXX-X DIMMER WITH VACANCY SENSOR

SAFETY LEGEND

- SMOKE AND CARBON MONOXIDE DETECTOR, HARD WIRED W/ BATTERY BACK-UP
- CARBON MONOXIDE SENSOR
- FIRE SPRINKLER HEAD

RECEPTACLE LEGEND

- GFCI GFCI RECEPTACLE
- +54* DUPLEX RECEPTACLE
- FOURLEX RECEPTACLE
- RECEPTACLE FOR DIMMING USE
- SPLIT RECEPTACLE HALF FOR DIMMING USE
- DEDICATED 120V RECEPTACLE
- DEDICATED 240V RECEPTACLE
- FLOOR RECEPTACLE
- CEILING RECEPTACLE
- WEATHERPROOF GFCI RECEPTACLE
- PLUG MOLD RECEPTACLE (CONCEALED)
- DATA RECEPTACLE JACK
- ELECTRICAL SUB-PANEL

HEATING LEGEND

- FAU FORCED AIR UNIT
- MANIFOLD
- RADIANT HEATING ZONE
- # ZONE NUMBER
- THERMOSTAT
- TEMPERATURE SENSOR

VENTILATION LEGEND

- M 101-1 CEILING EXHAUST FAN: PANASONIC WHISPERSGREEN SELECT, FV-05-11VKS1: 30 TO 110 CFM INTEGRATED MULTI-SPEED
- M1 101-1 WHOLE HOUSE CEILING EXHAUST FAN: PANASONIC WHISPERSGREEN SELECT, FV-05-11VKS1: 30 TO 110 CFM INTEGRATED MULTI-SPEED WHOLE HOUSE FAN TO PROVIDE A MINIMUM 105 CFM CONTINUOUS VENTILATION REQUIREMENTS PER TABLE 4.1 FROM ASHRAE 62.2, SHEET A7.0.
- KITCHEN EXHAUST

PLUMBING LEGEND

- H HOT WATER TANK
- HBB HOSE BIBB - STANDARD
- GV GAS VALVE / KEY
- G GAS METER
- BOILER BOILER



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| RESPONCE | |

JOB # 2004

POWER AND LIGHTING NOTES, LEGEND, AND INSTALLATION DIAGRAMS

A7.0

SCALE: 1/4" = 1'-0"



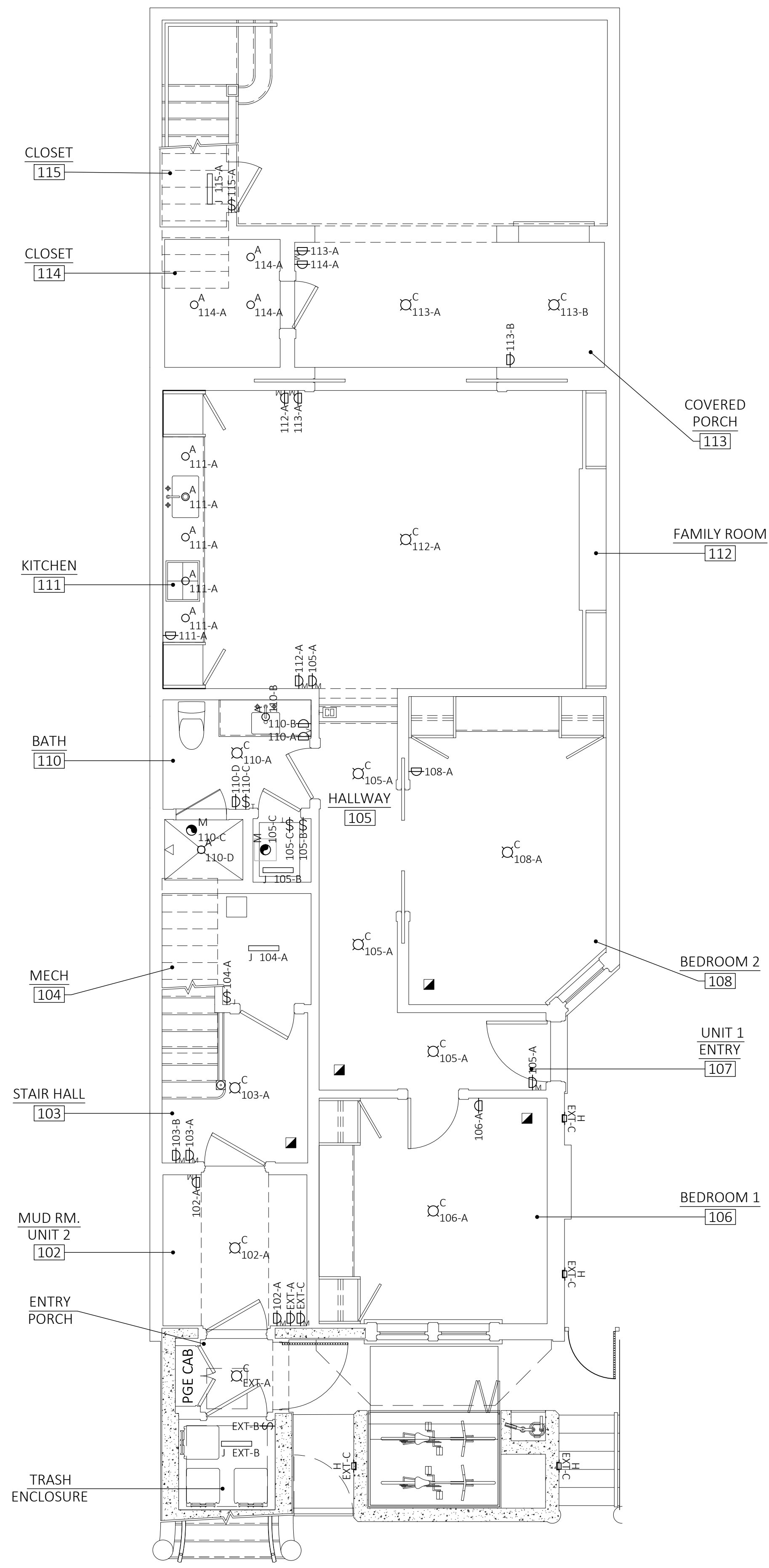
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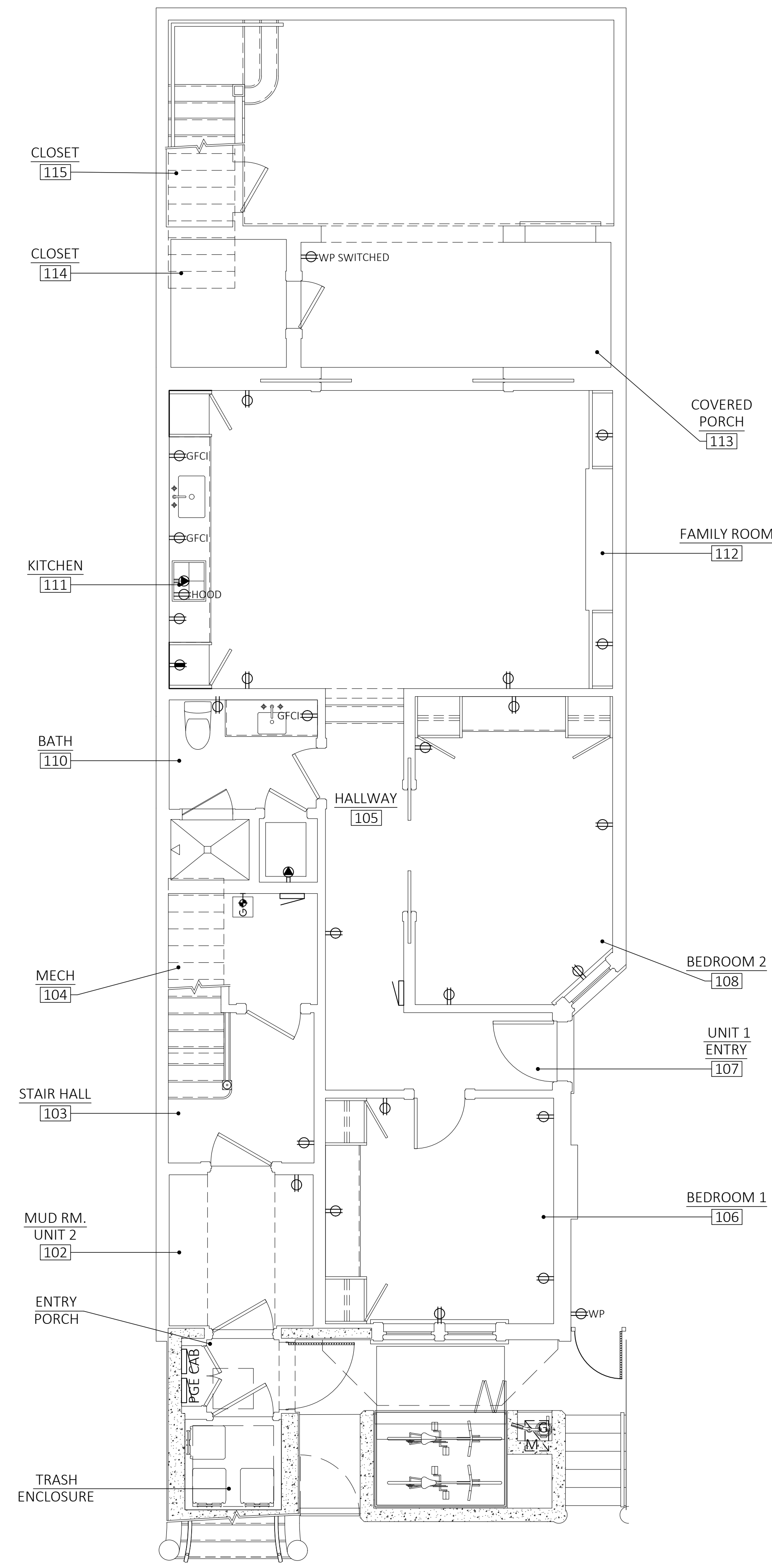


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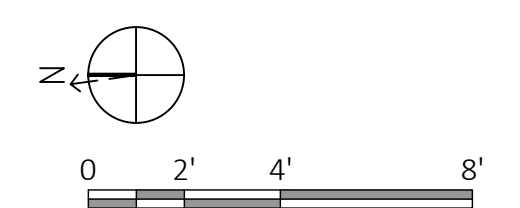


FIRST FLOOR PLAN - LIGHTING
1/4" = 1'-0" 2



FIRST FLOOR PLAN - POWER
1/4" = 1'-0" 1

GENERAL NOTES
1 SEE SHEET A7.0 FOR DRAWING LEGEND



| | |
|---------------------------------------|----------|
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| JOB # | 2004 |
| FIRST FLOOR PLAN - POWER AND LIGHTING | |
| A7.1 | |
| SCALE: 1/4" = 1'-0" | |

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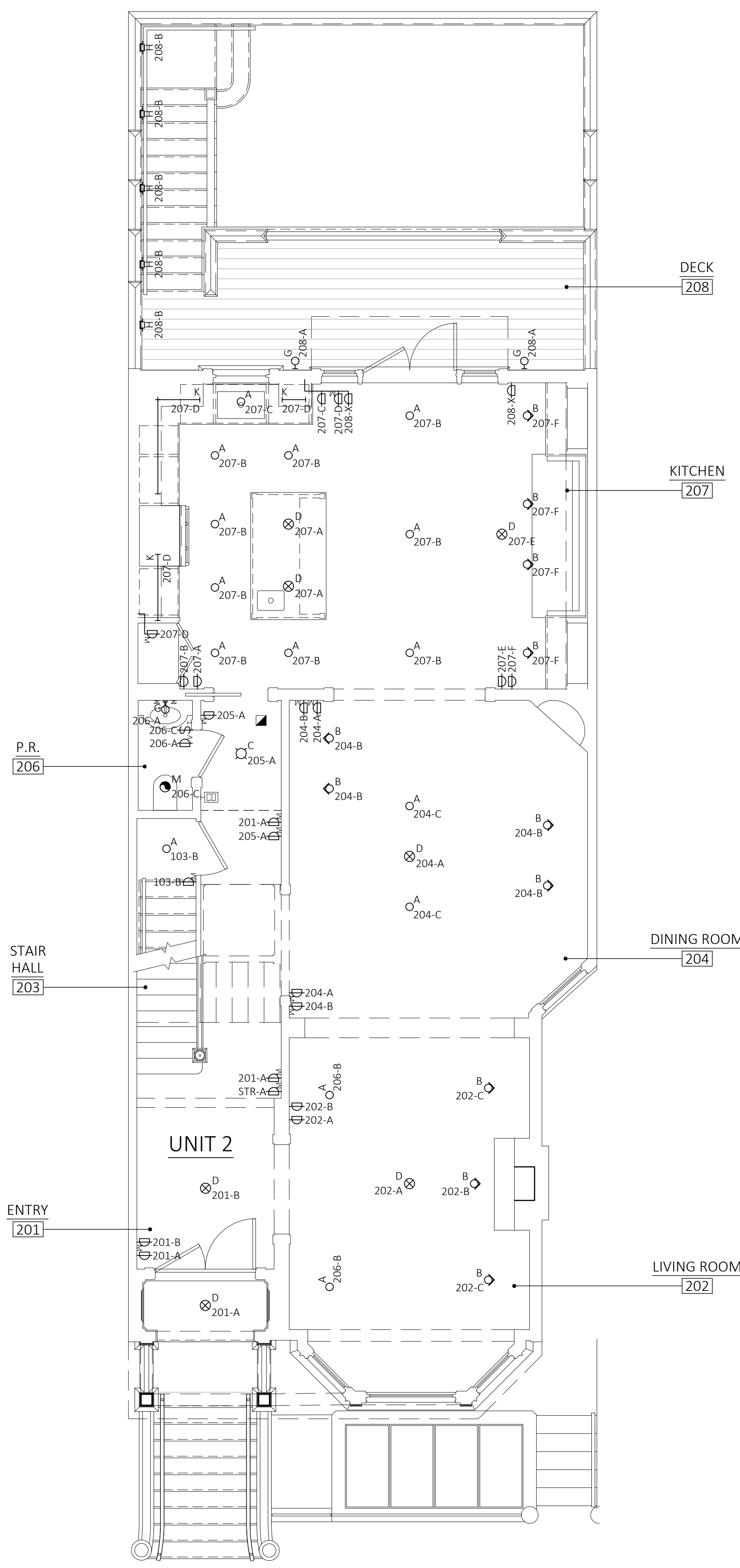
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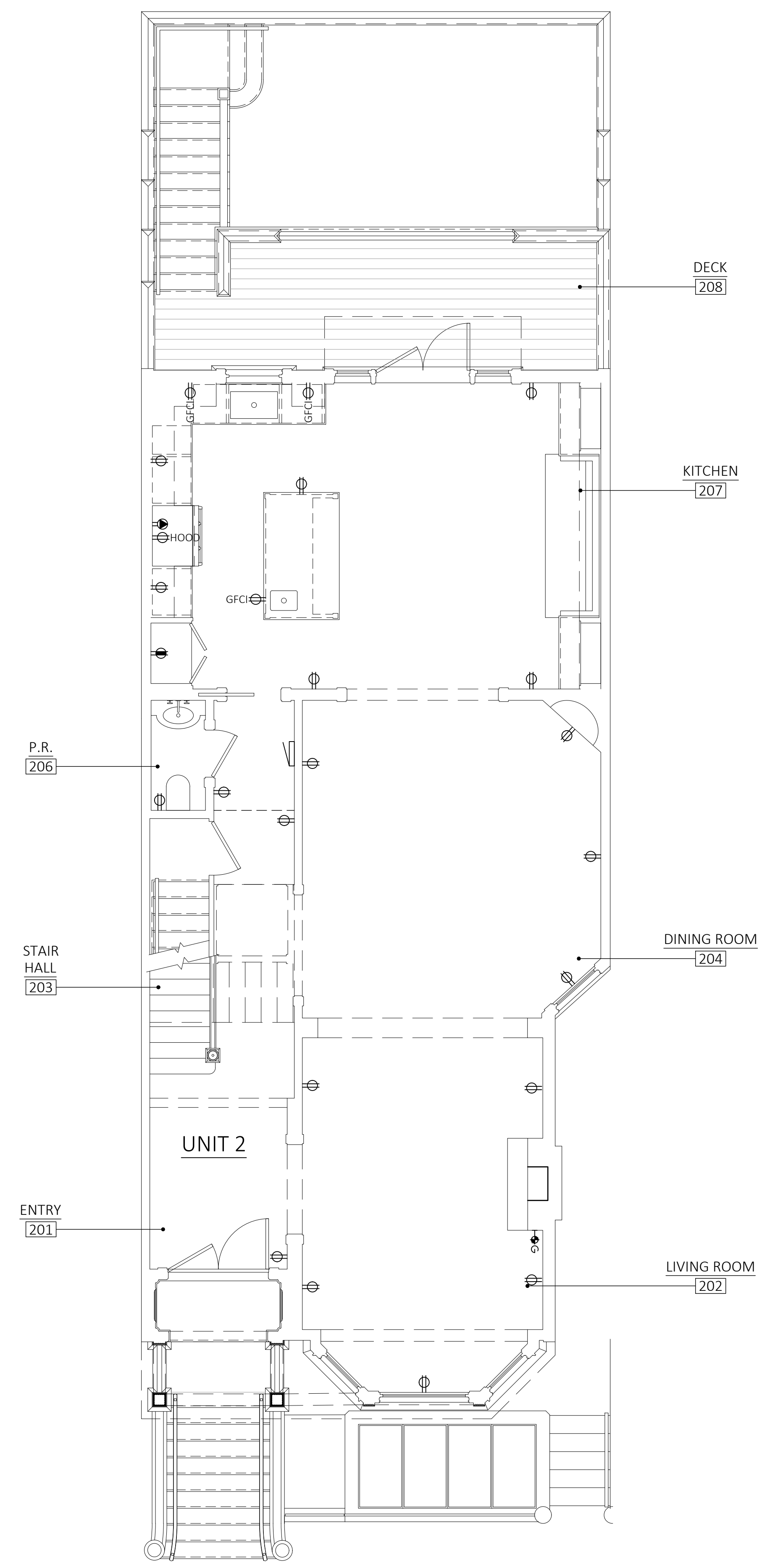


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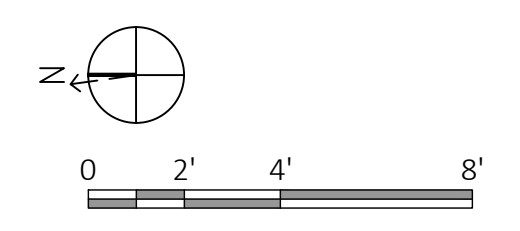


SECOND FLOOR PLAN - LIGHTING 2
1/4" = 1'-0"



SECOND FLOOR PLAN - POWER 1
1/4" = 1'-0"

GENERAL NOTES
1 SEE SHEET A7.0 FOR DRAWING LEGEND



| | |
|--|----------|
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| JOB # | 2004 |
| SECOND FLOOR PLAN - POWER AND LIGHTING | |
| A7.2 | |
| SCALE: 1/4" = 1'-0" | |

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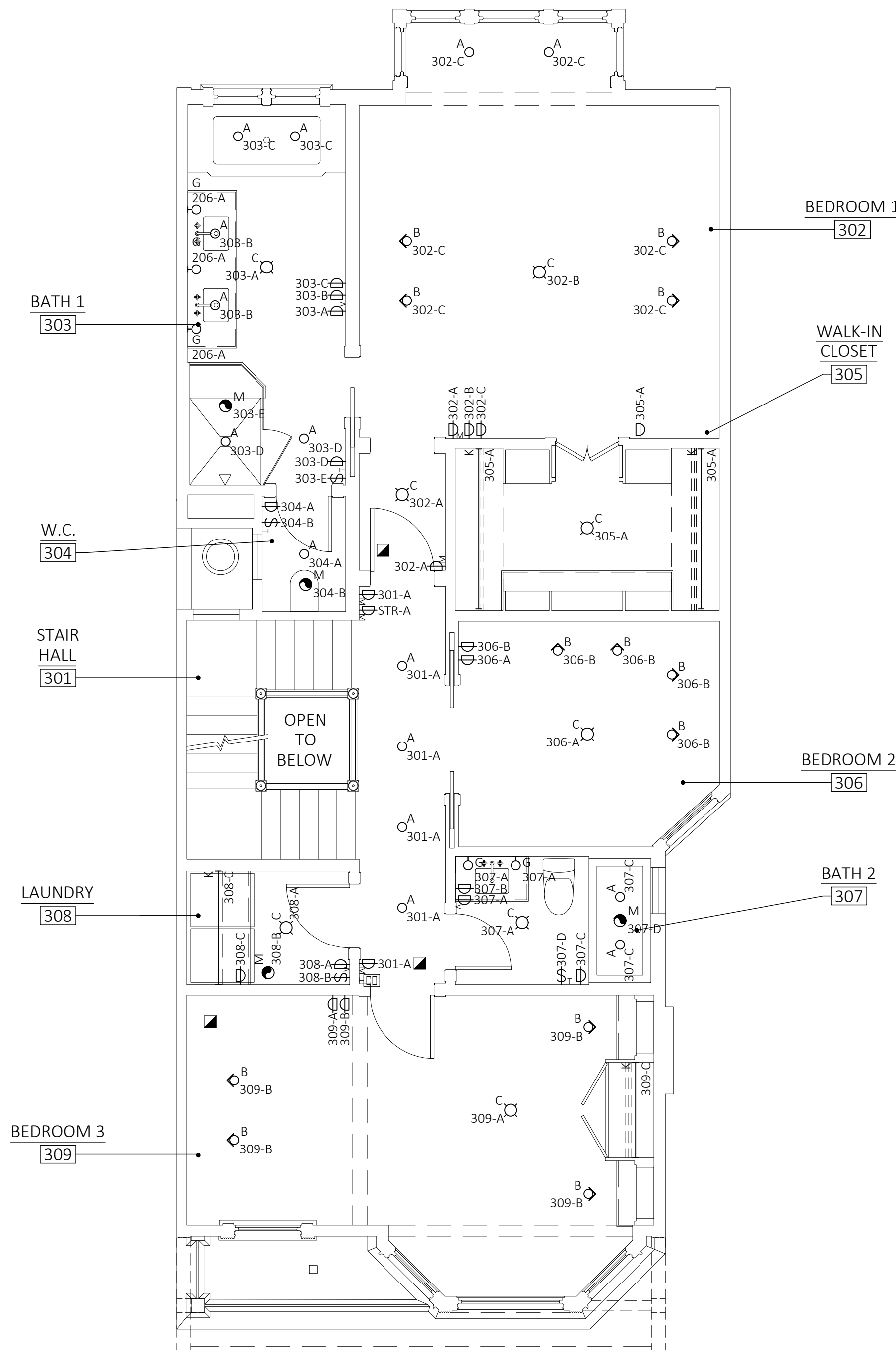
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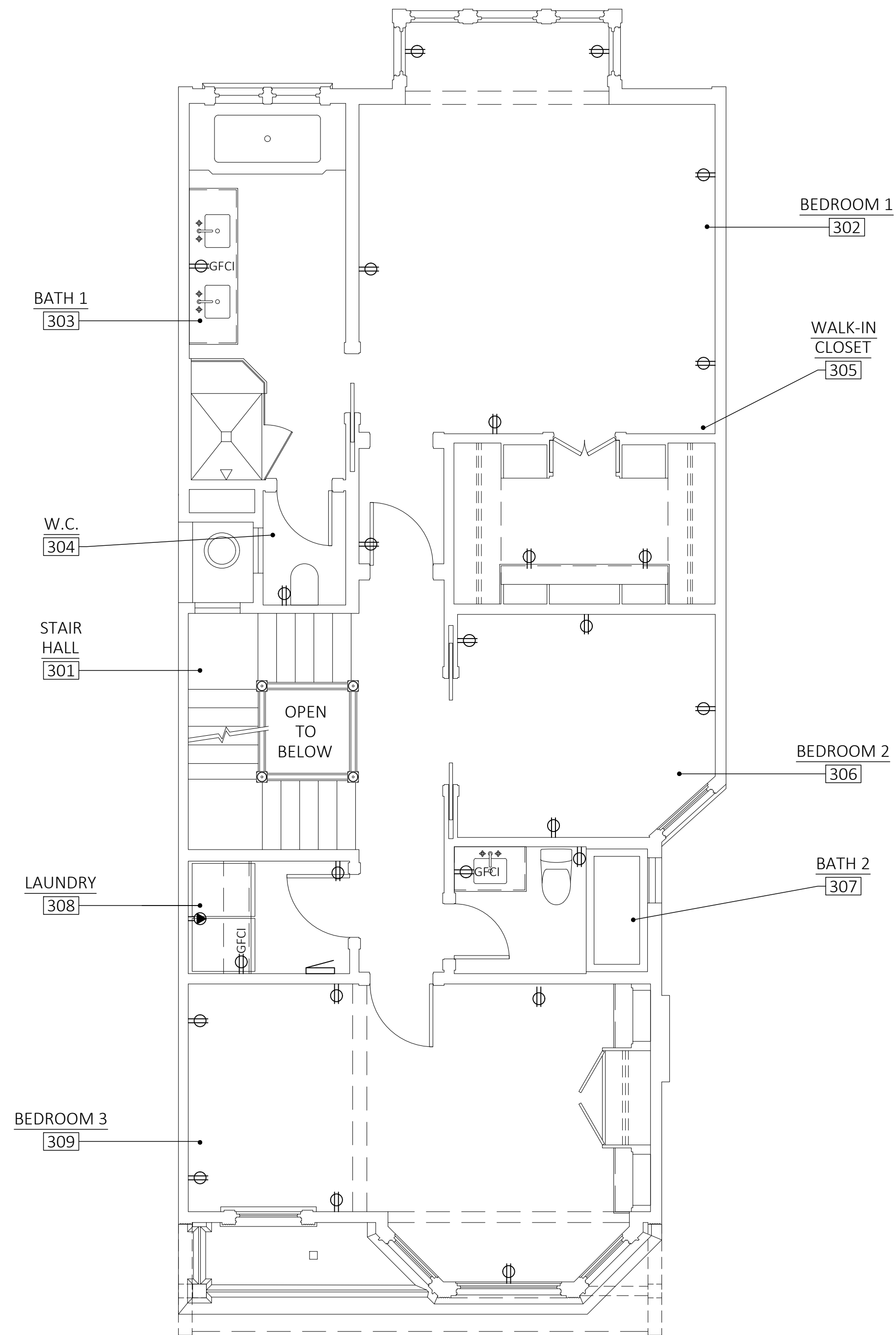
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THIRD FLOOR PLAN - LIGHTING

1/4" = 1'-0"

2

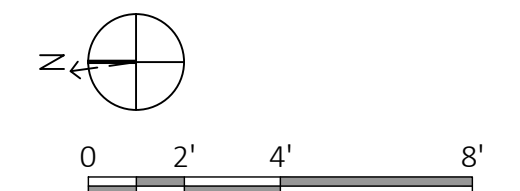


THIRD FLOOR PLAN - POWER

1/4" = 1'-0"

1

GENERAL NOTES
1 SEE SHEET A7.0 FOR DRAWING LEGEND



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JOB # 2004

THIRD FLOOR PLAN - POWER AND LIGHTING

A7.3

SCALE: 1/4" = 1'-0"

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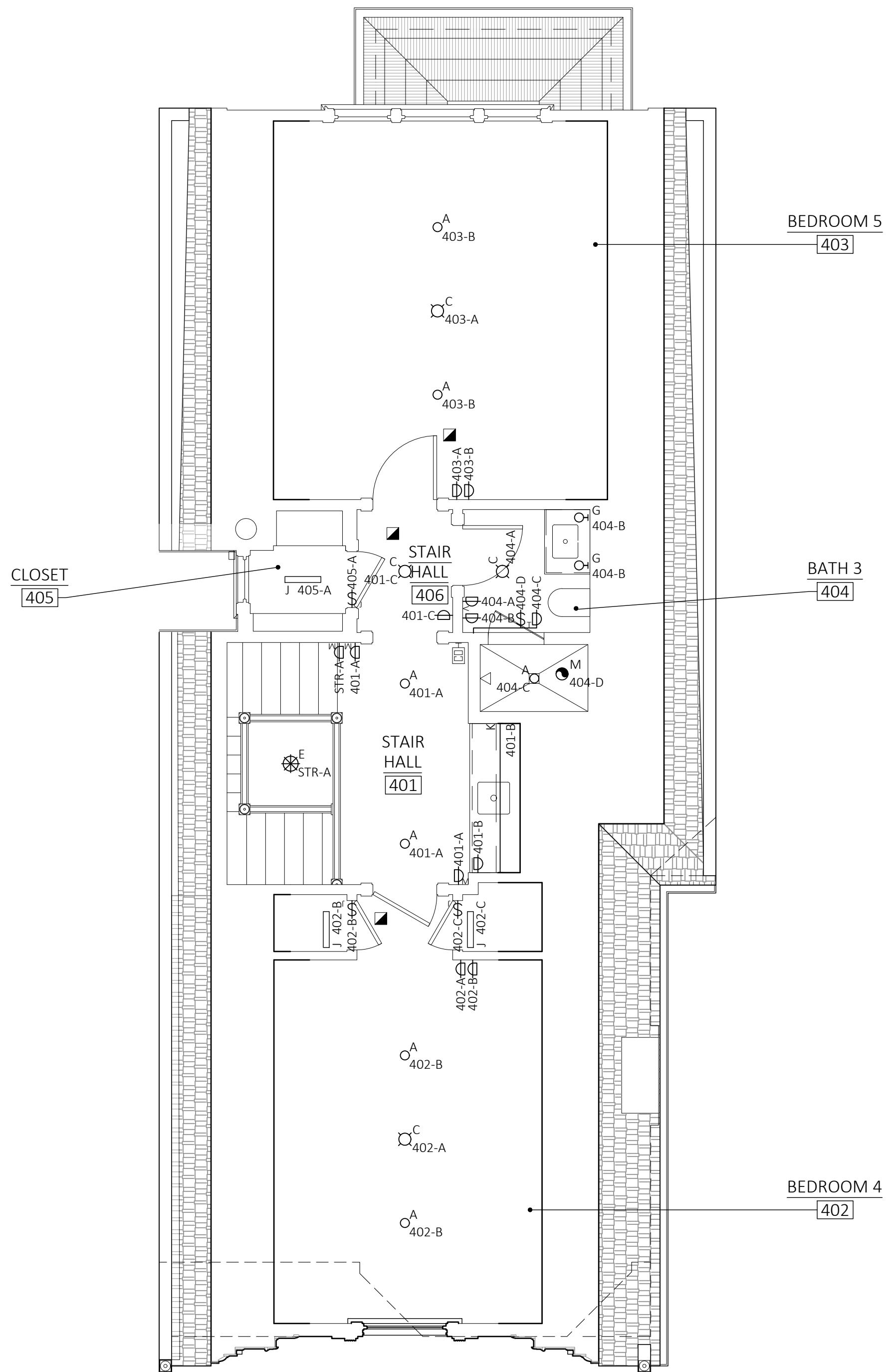
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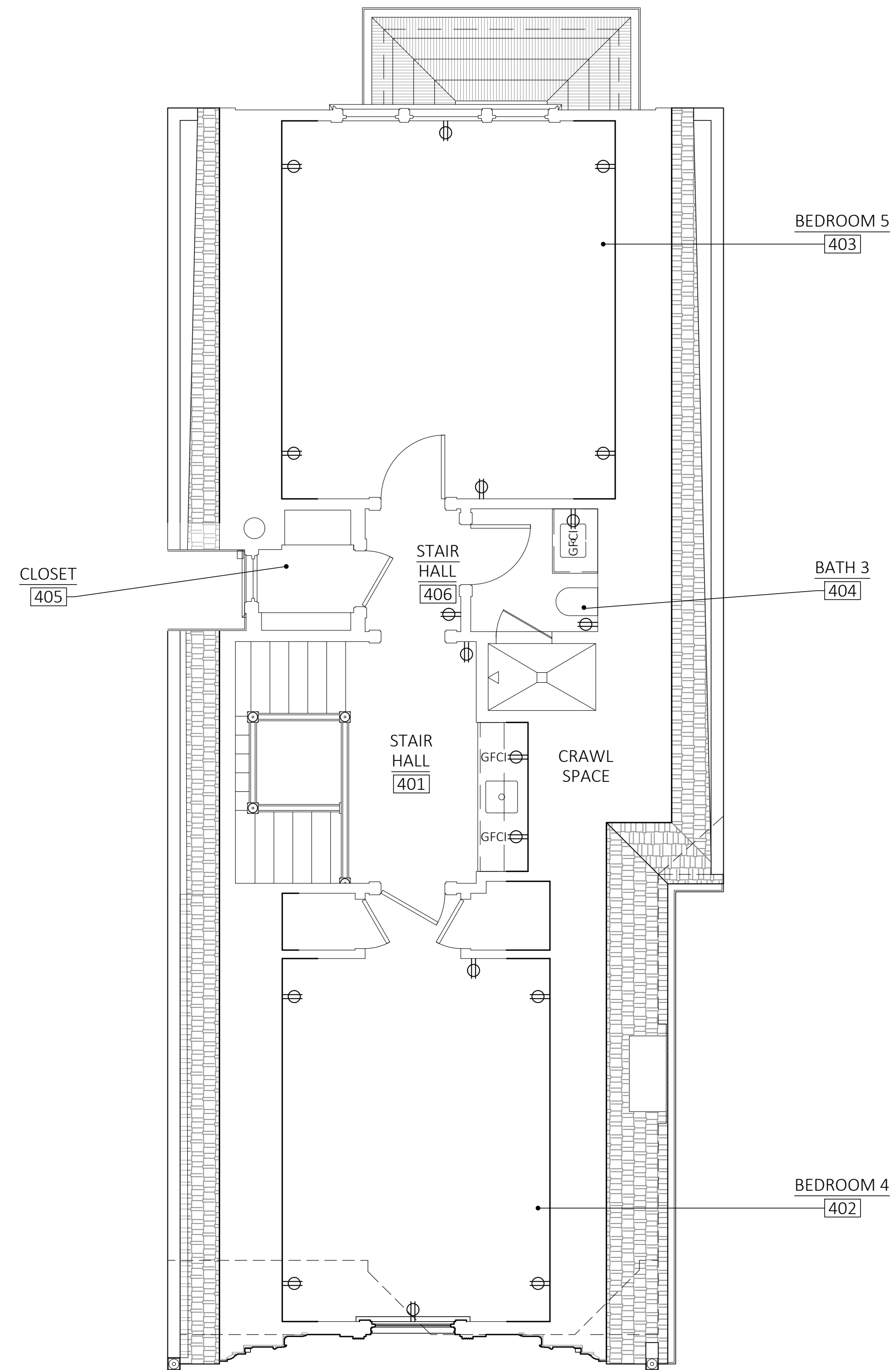


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| JOB # | 2004 |
| FOURTH FLOOR PLAN - POWER AND LIGHTING | |
| A7.4 | |
| SCALE: 1/4" = 1'-0" | |

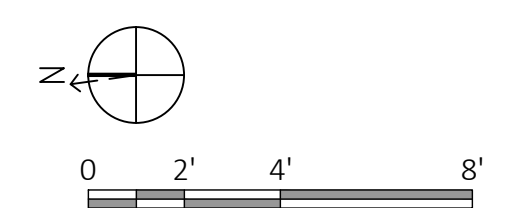


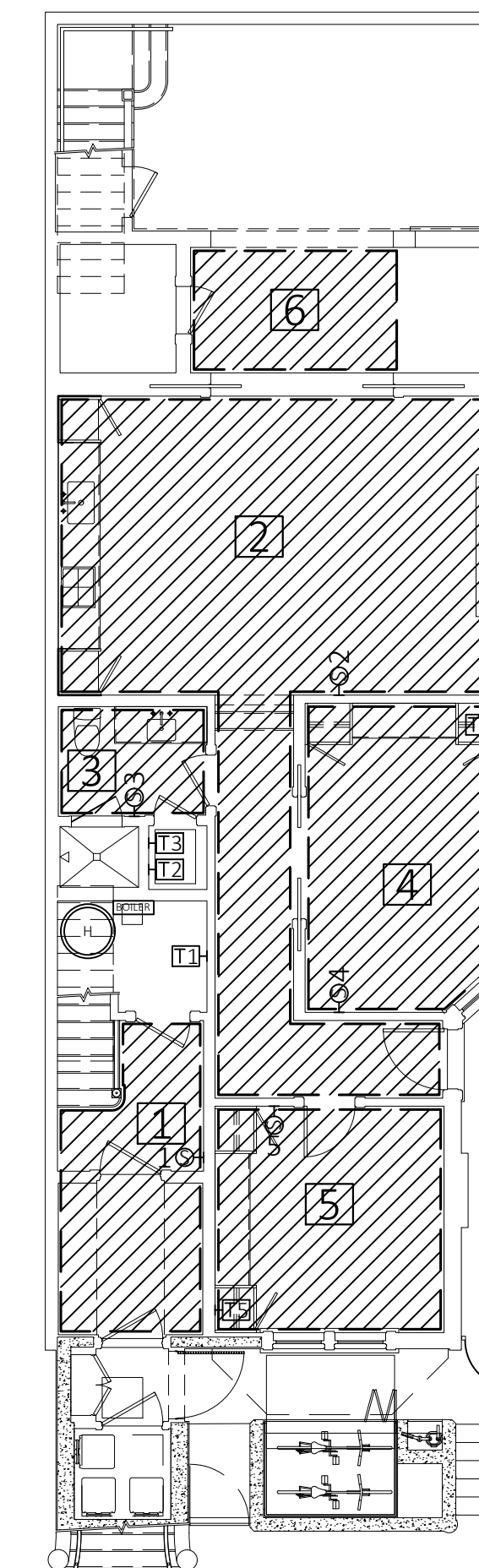
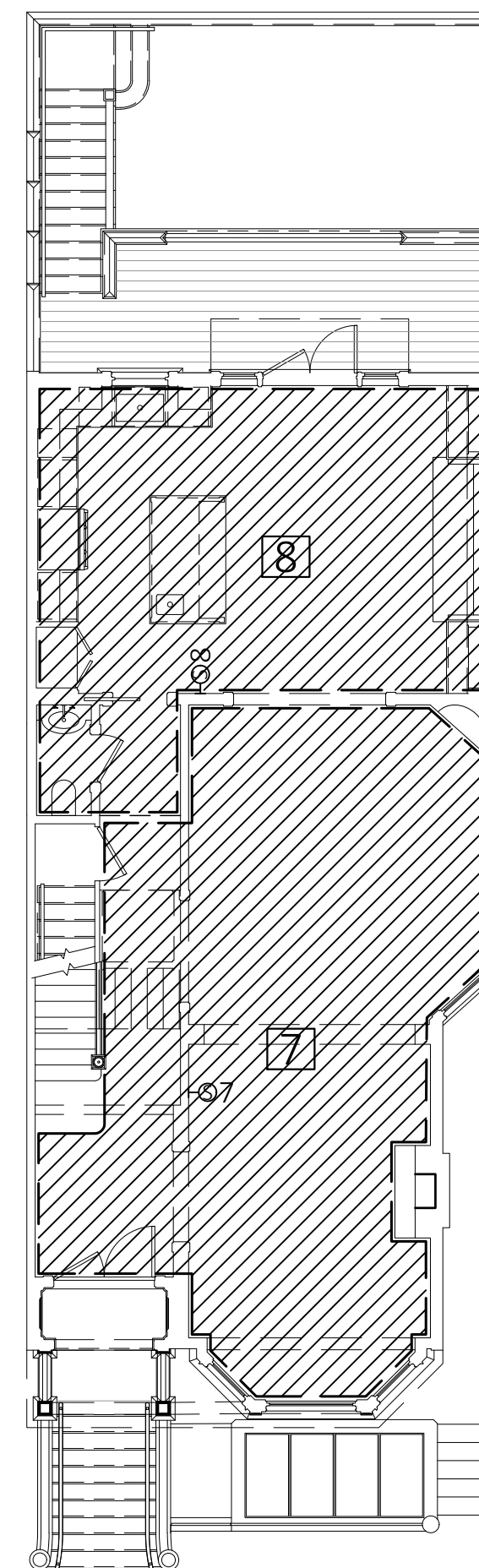
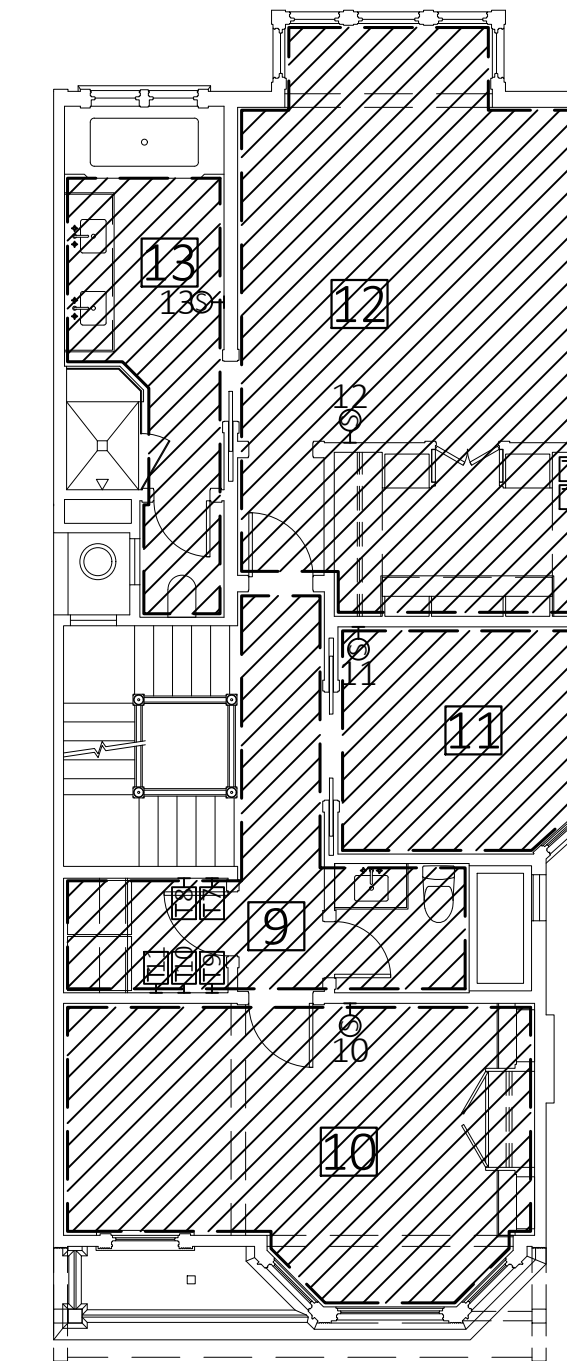
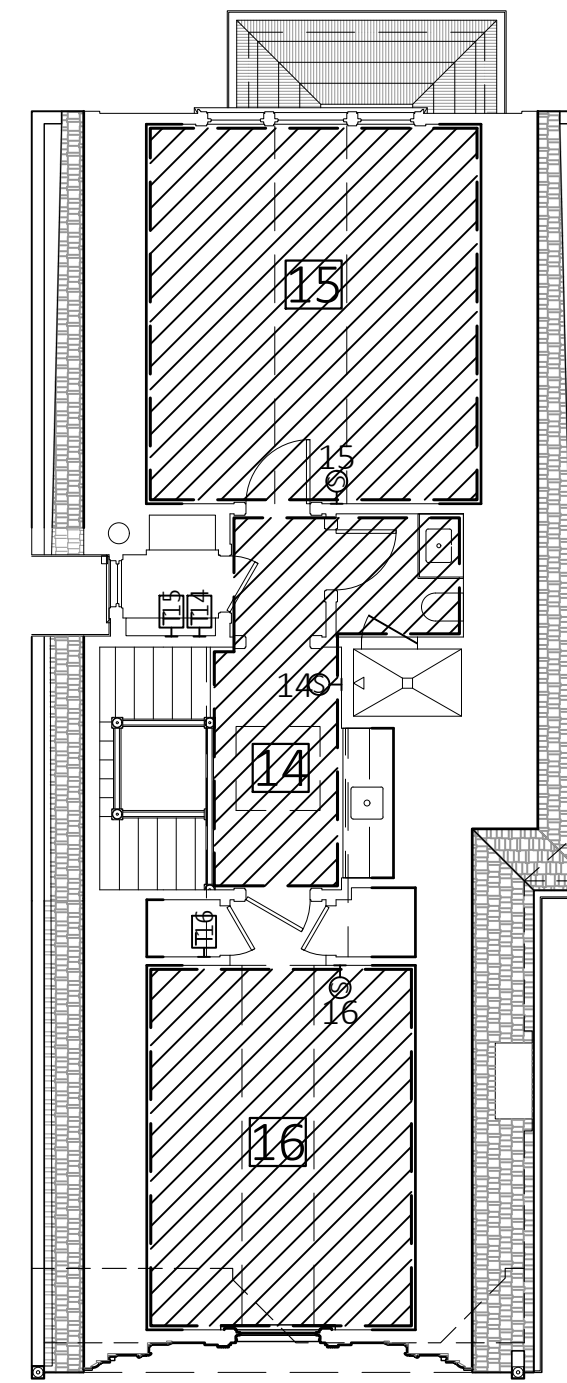
FOURTH FLOOR PLAN - LIGHTING
1/4" = 1'-0" 2



FOURTH FLOOR PLAN - POWER
1/4" = 1'-0" 1

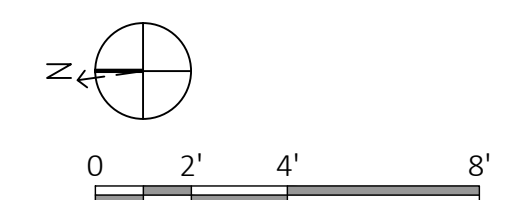
GENERAL NOTES
1 SEE SHEET A7.0 FOR DRAWING LEGEND





GENERAL NOTES
 1 SEE SHEET A7.0 FOR DRAWING LEGEND

FLOOR PLANS - HYDRONIC HEATING ZONE 1
 1/8" = 1'-0"



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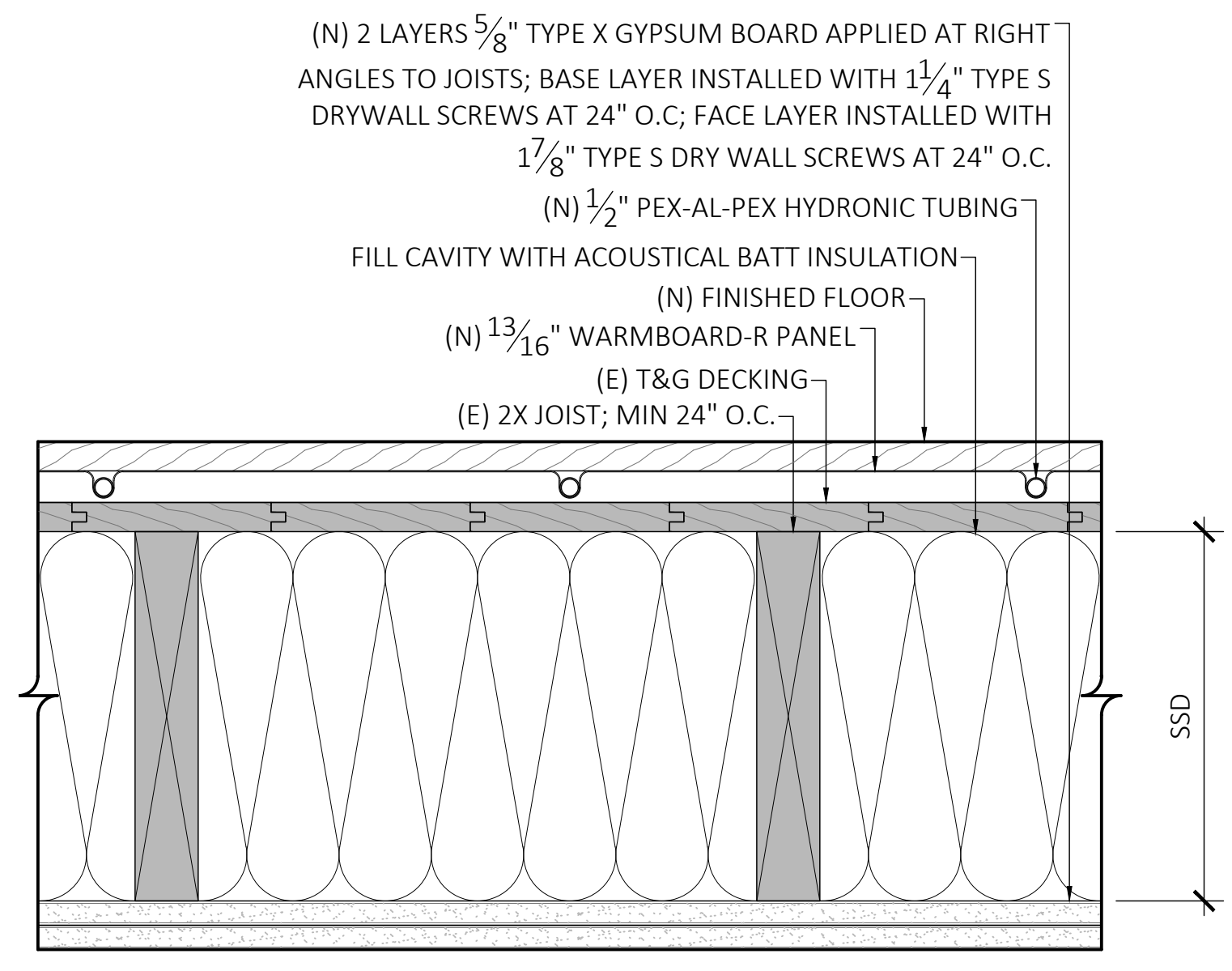
JOB # 2004

HYDRONIC PLANS

A7.5

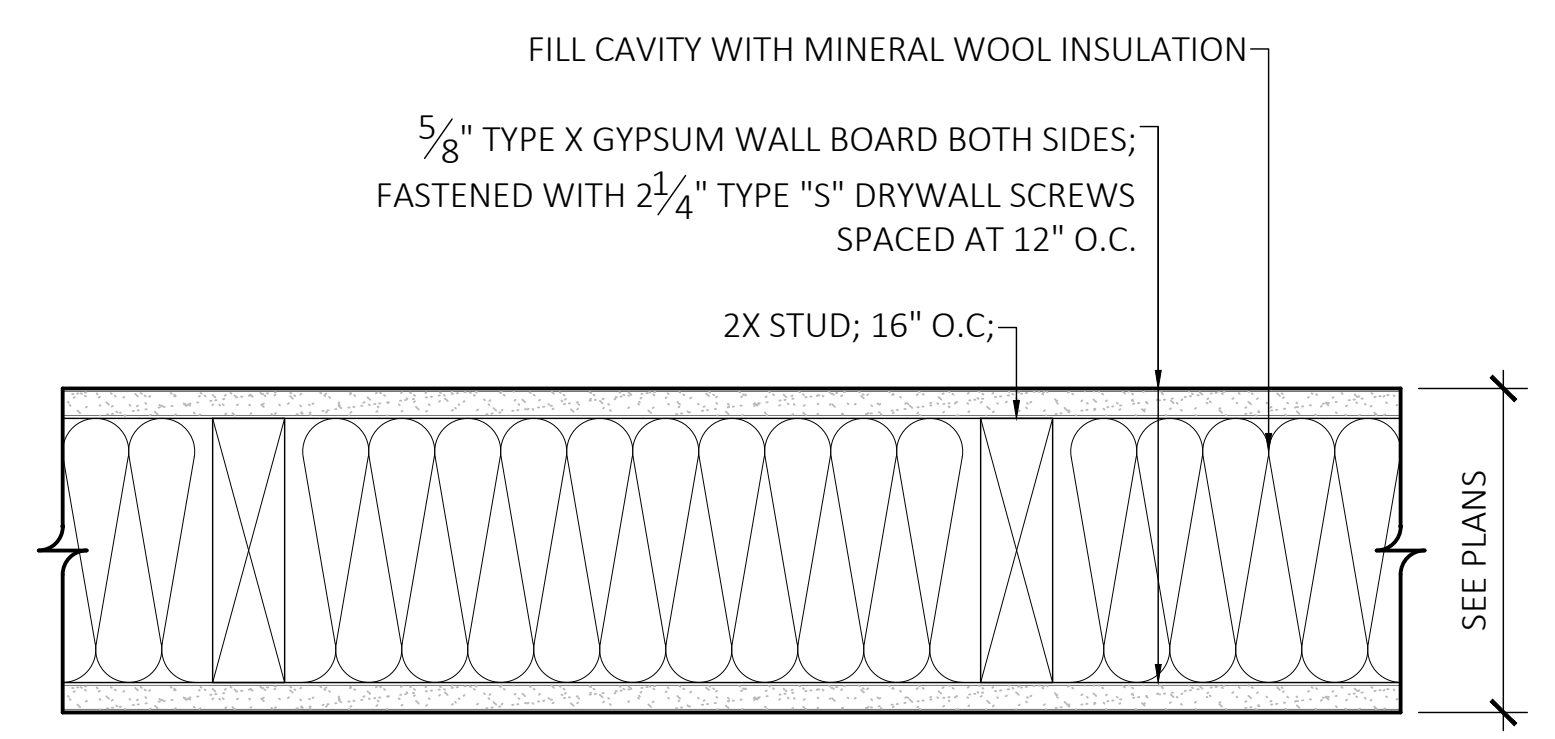
SCALE: 1/8" = 1'-0"

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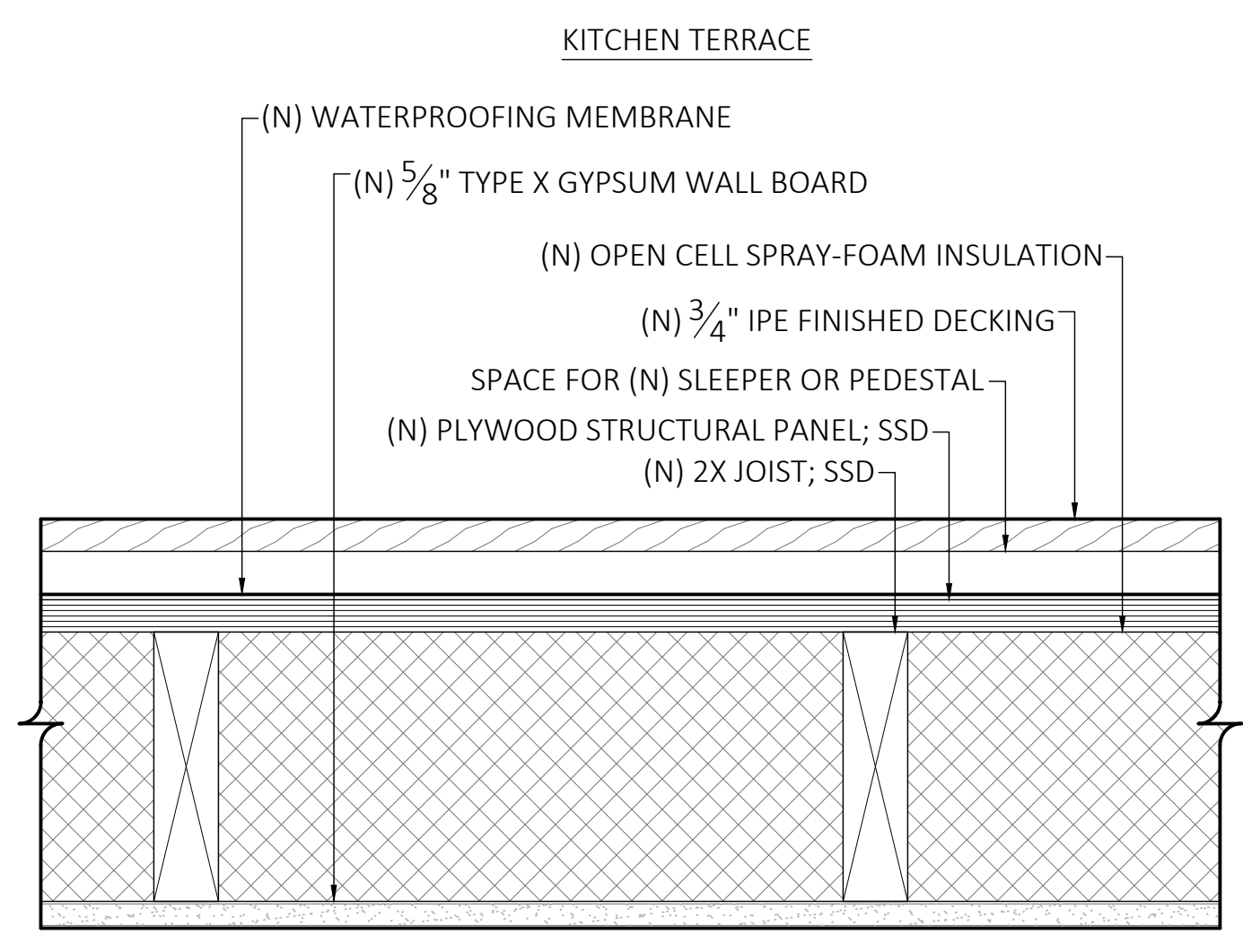
F-6 REFERENCE: CBC 721.1(3) 21-1.1

INTERIOR FLOOR ASSEMBLY 12
3" = 1'-0"



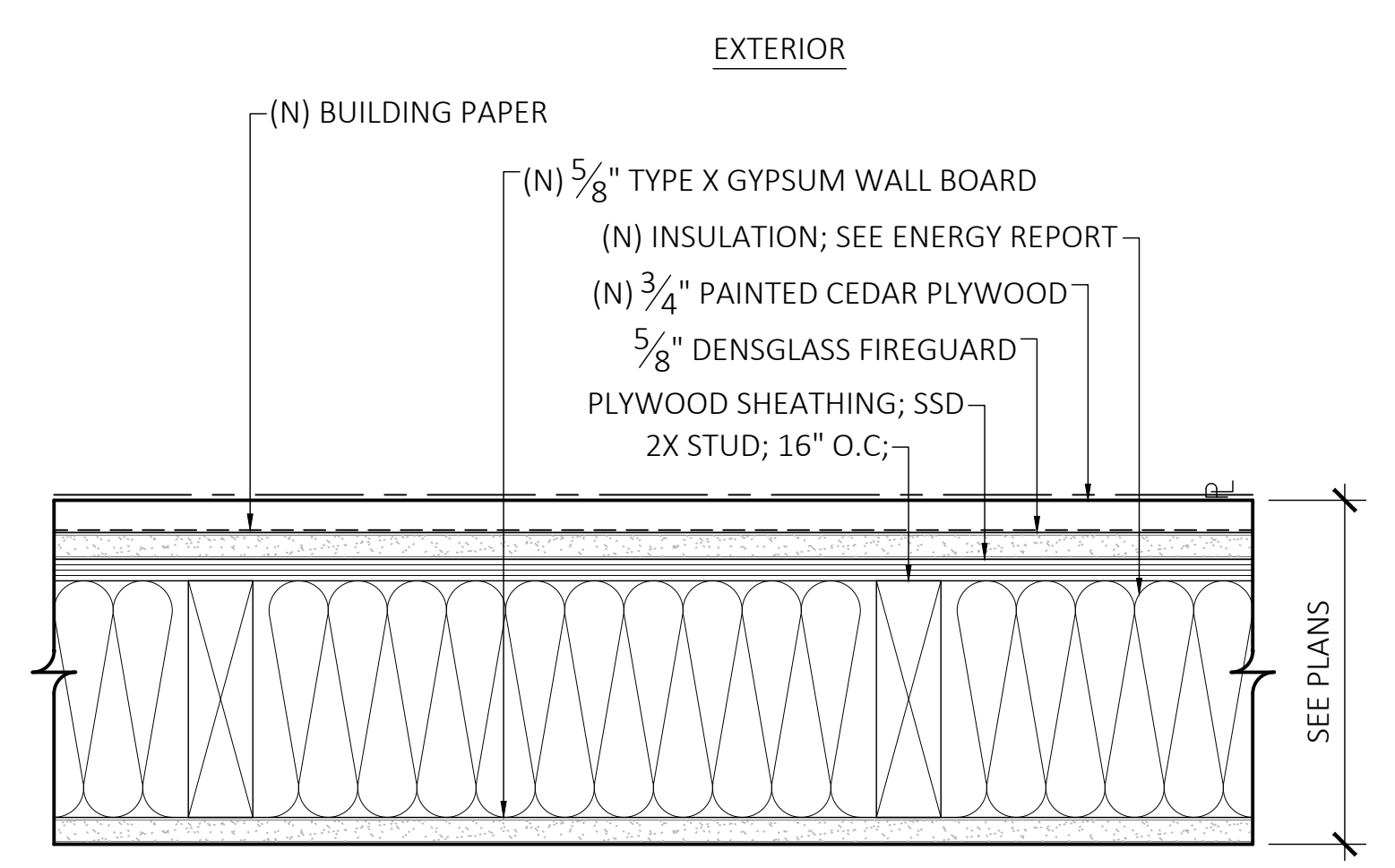
W-6 REFERENCE: (2X4 STUDS) CBC 721.1(2) 15-1.15; (2X6 STUDS) CBC 721.1(2) 15-1.12

INTERIOR WALL ASSEMBLY 9
3" = 1'-0"



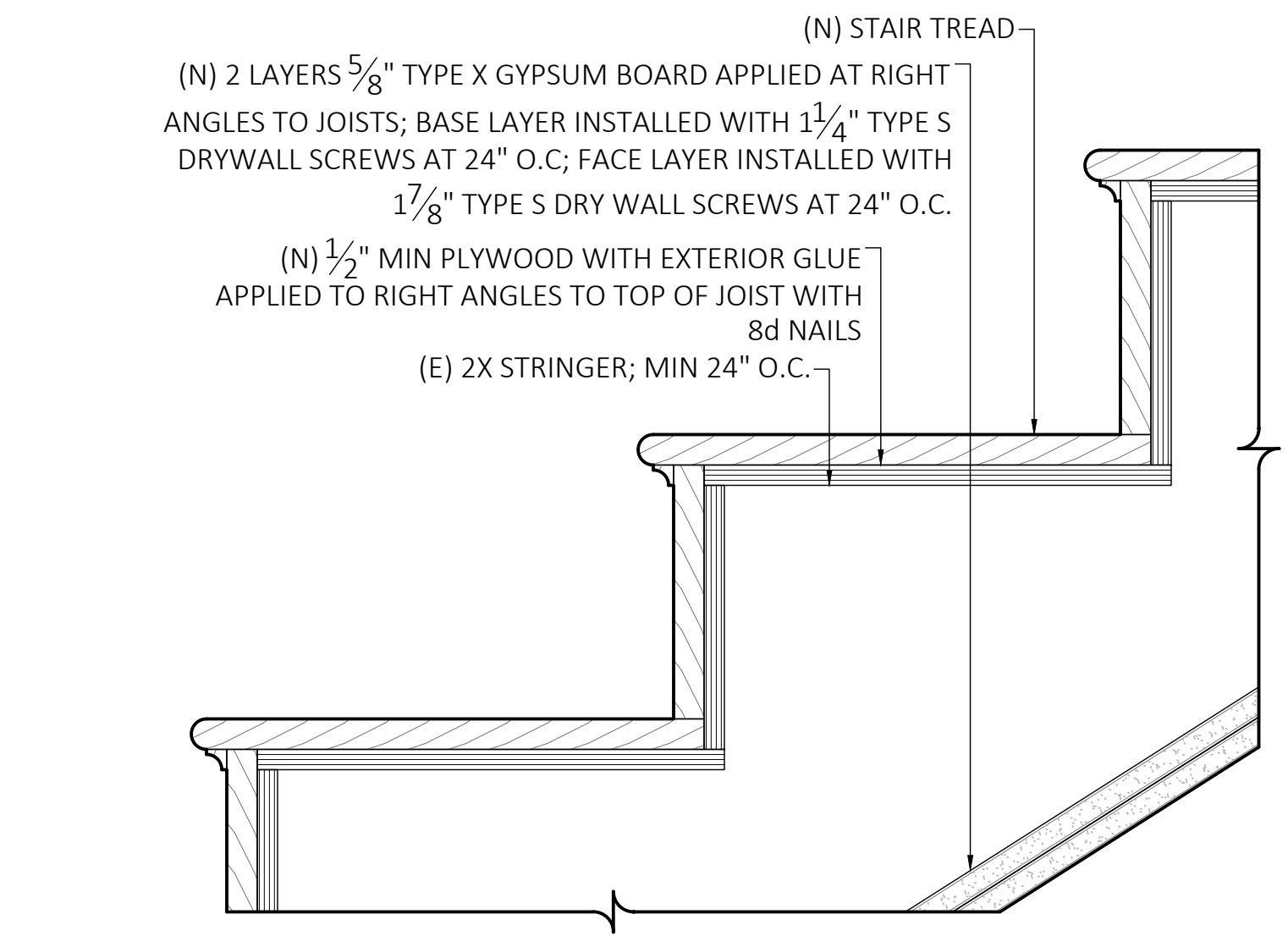
F-3

EXTERIOR FLOOR ASSEMBLY 6
3" = 1'-0"



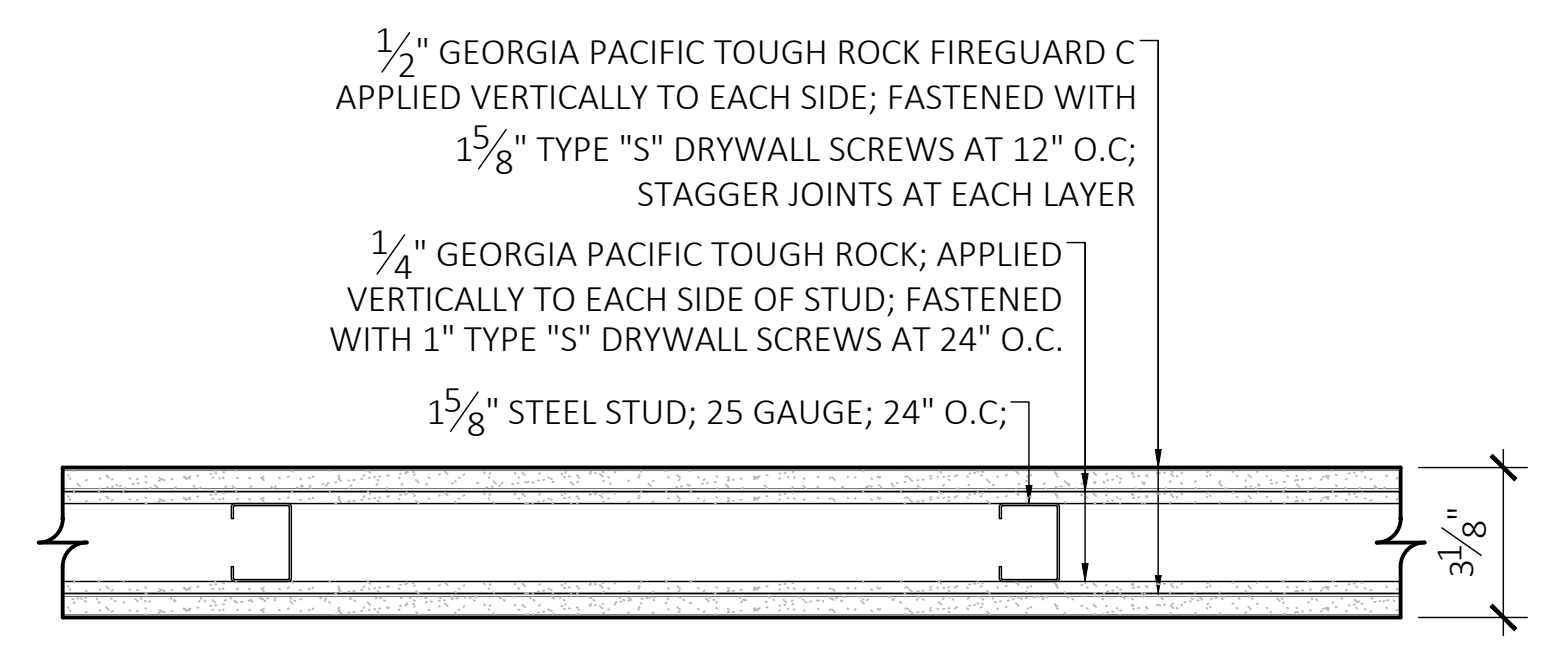
W-3 REFERENCE: 1 HR - RATED WALL PER CBC 721.1(2) ITEM 15-1.13

EXTERIOR WALL ASSEMBLY 3
3" = 1'-0"



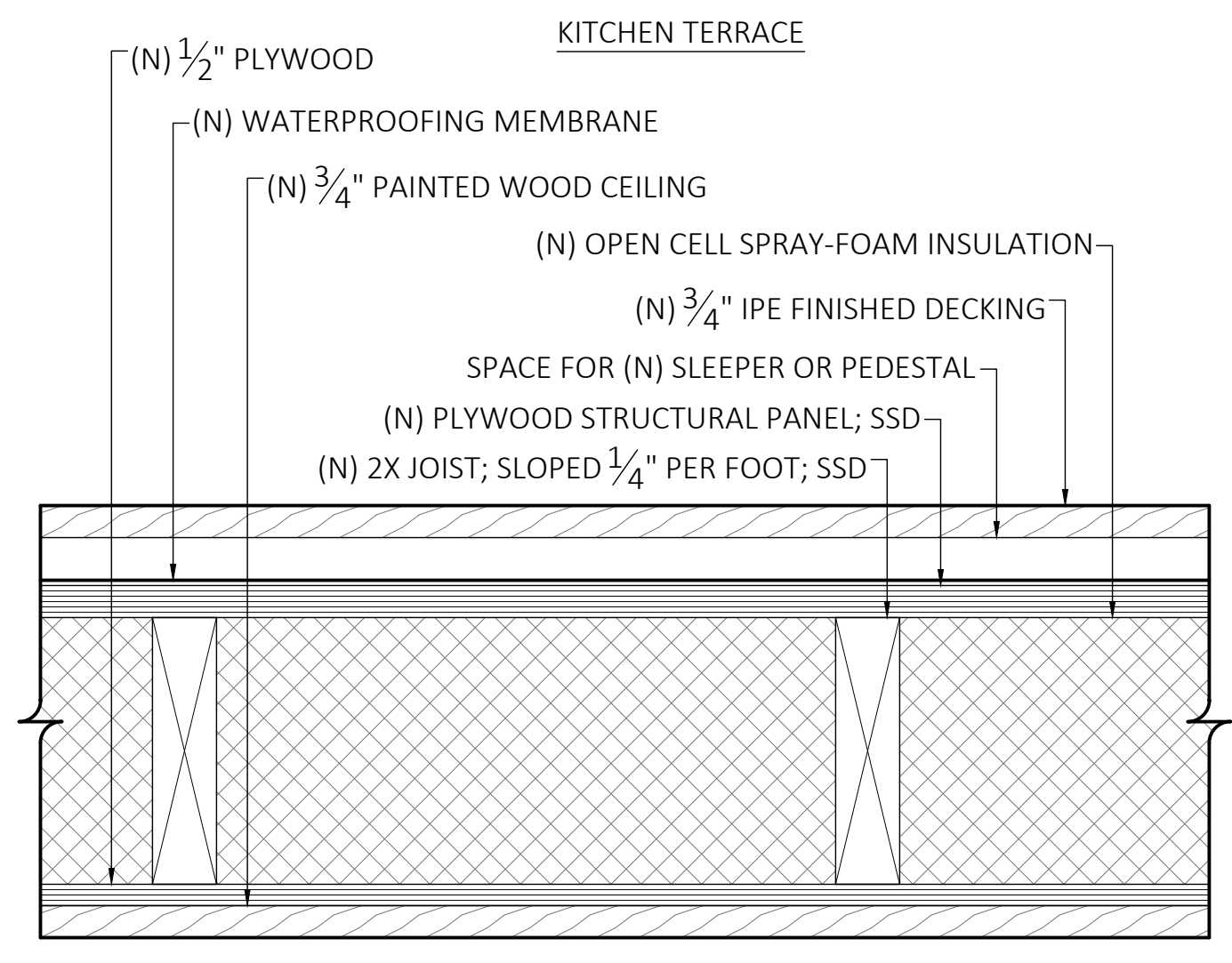
F-5 REFERENCE: CBC 721.1(3) 21-1.1

INTERIOR FLOOR ASSEMBLY 11
3" = 1'-0"



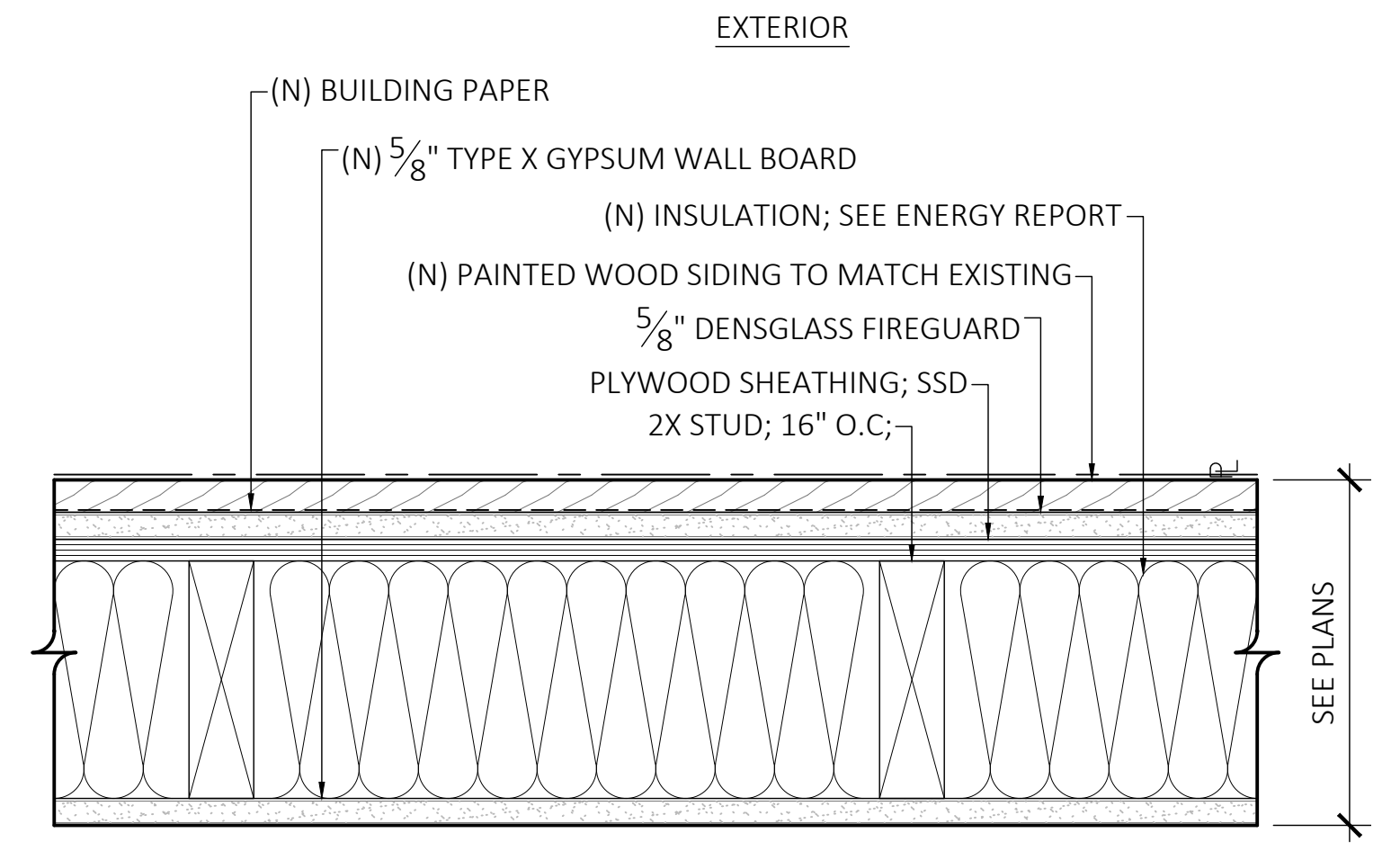
W-5 REFERENCE: GEORGIA PACIFIC FIRE TEST GA WP 1429

INTERIOR WALL ASSEMBLY 8
3" = 1'-0"



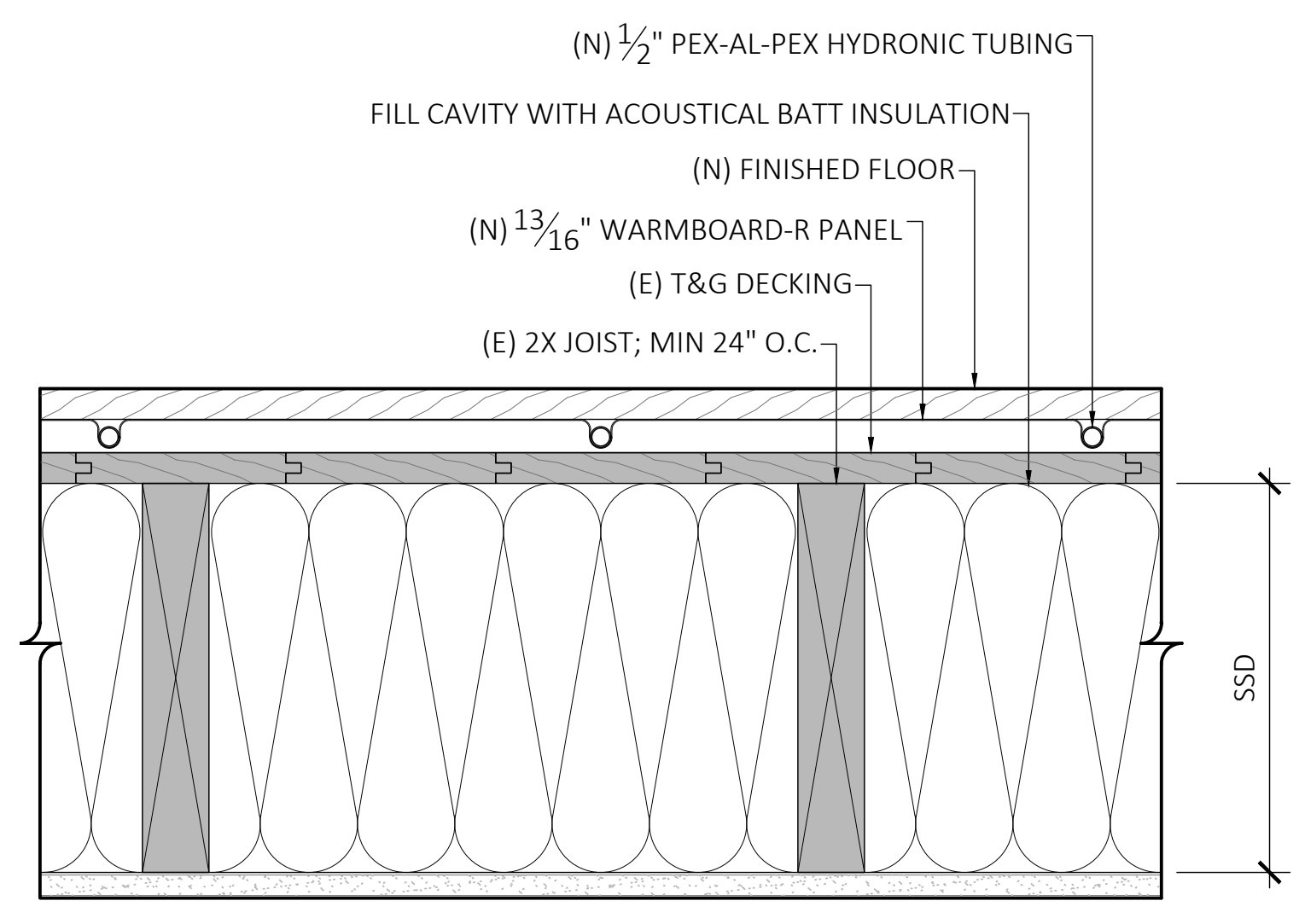
F-2

EXTERIOR FLOOR ASSEMBLY 5
3" = 1'-0"



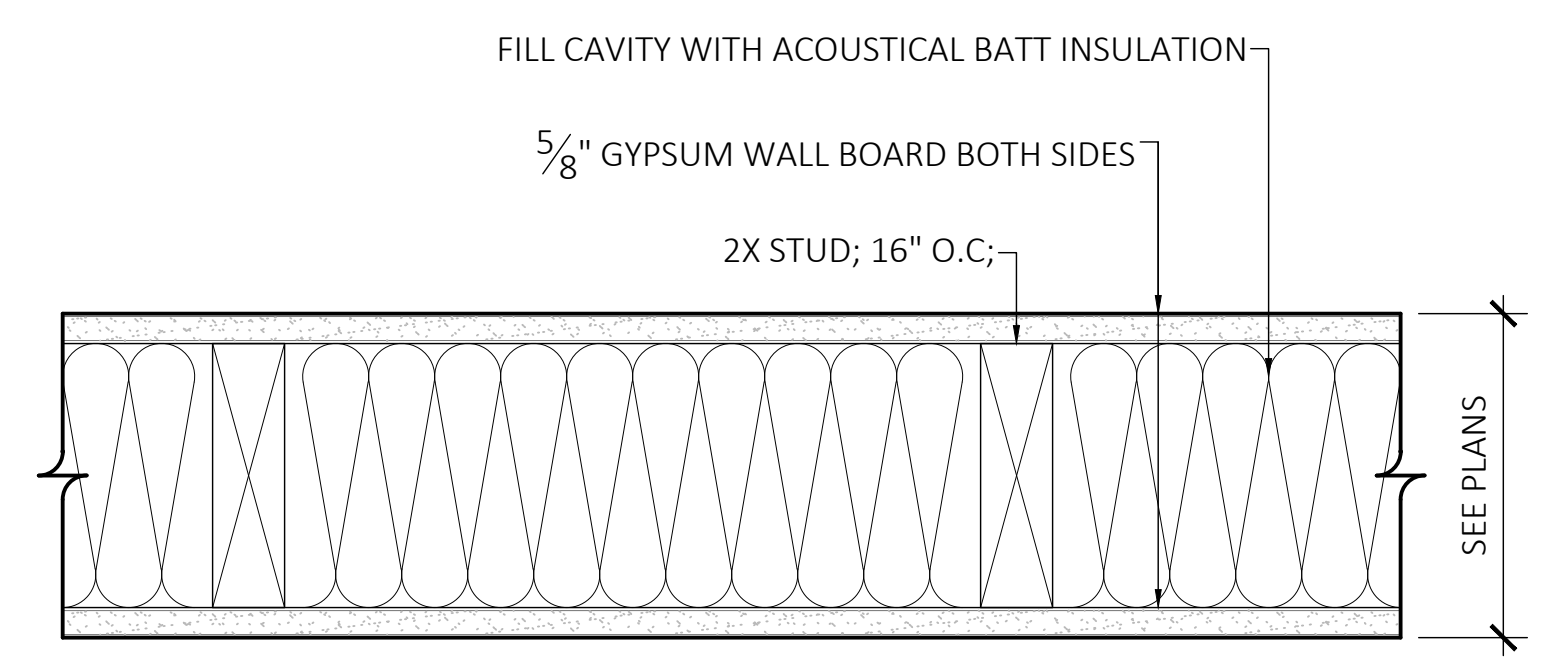
W-2 REFERENCE: 1 HR - RATED WALL PER CBC 721.1(2) ITEM 15-1.13

EXTERIOR WALL ASSEMBLY 2
3" = 1'-0"



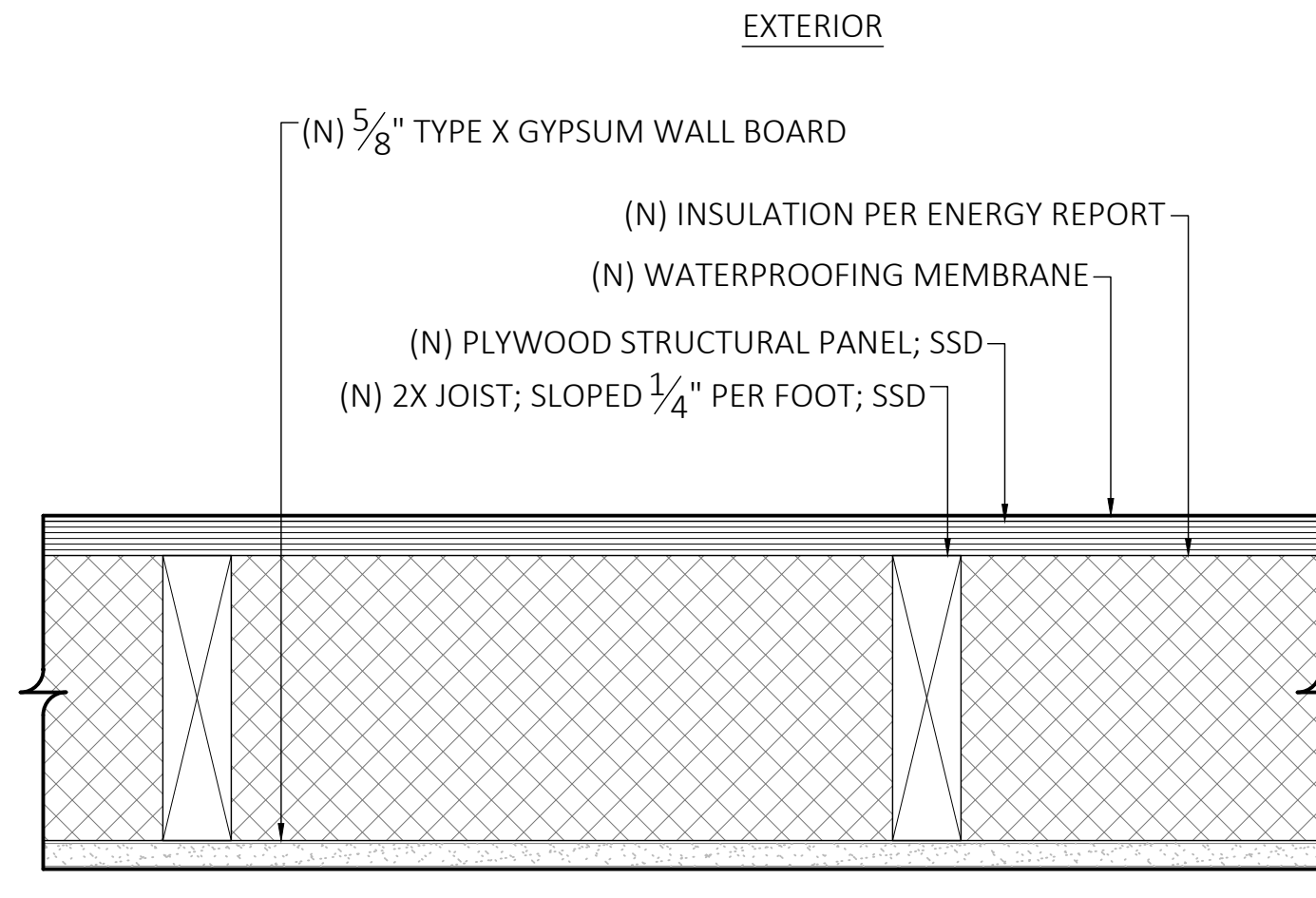
F-4

INTERIOR FLOOR ASSEMBLY 10
3" = 1'-0"



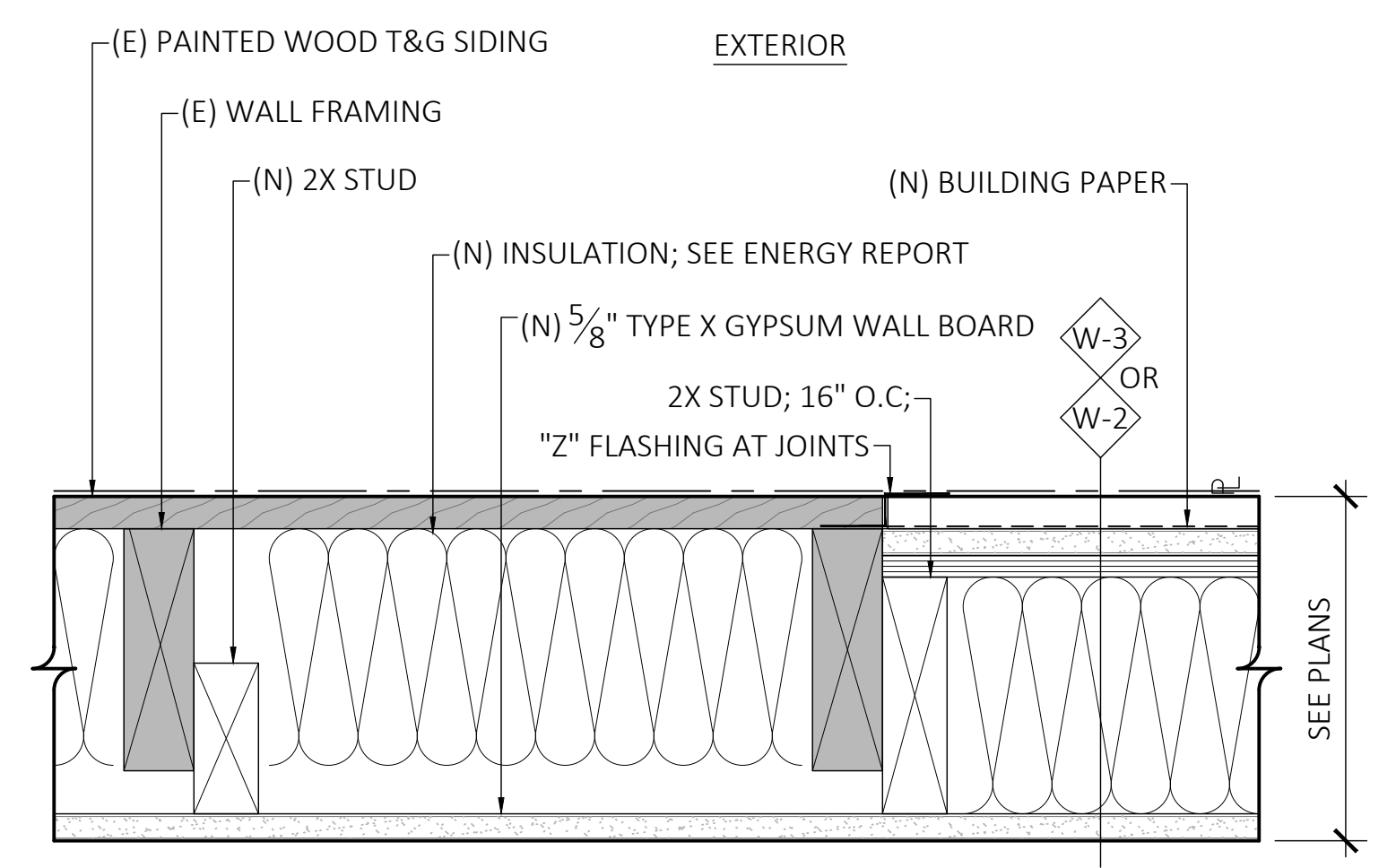
W-4

INTERIOR WALL ASSEMBLY 7
3" = 1'-0"



F-1

EXTERIOR FLOOR ASSEMBLY 4
3" = 1'-0"



W-1

EXTERIOR WALL ASSEMBLY 1
3" = 1'-0"

| ISSUANCE | DATE |
|-----------------|----------|
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| PLAN CHECK | 08.24.21 |
| RESPONSE | |

JOB # 2004

ASSEMBLY DETAILS

A8.2.1

SCALE: 3" = 1'-0"

| ISSUANCE | DATE |
|-----------------|----------|
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| MILLS ACT APP. | 05.26.21 |
| PLAN CHECK | 08.24.21 |
| RESPONCE | |

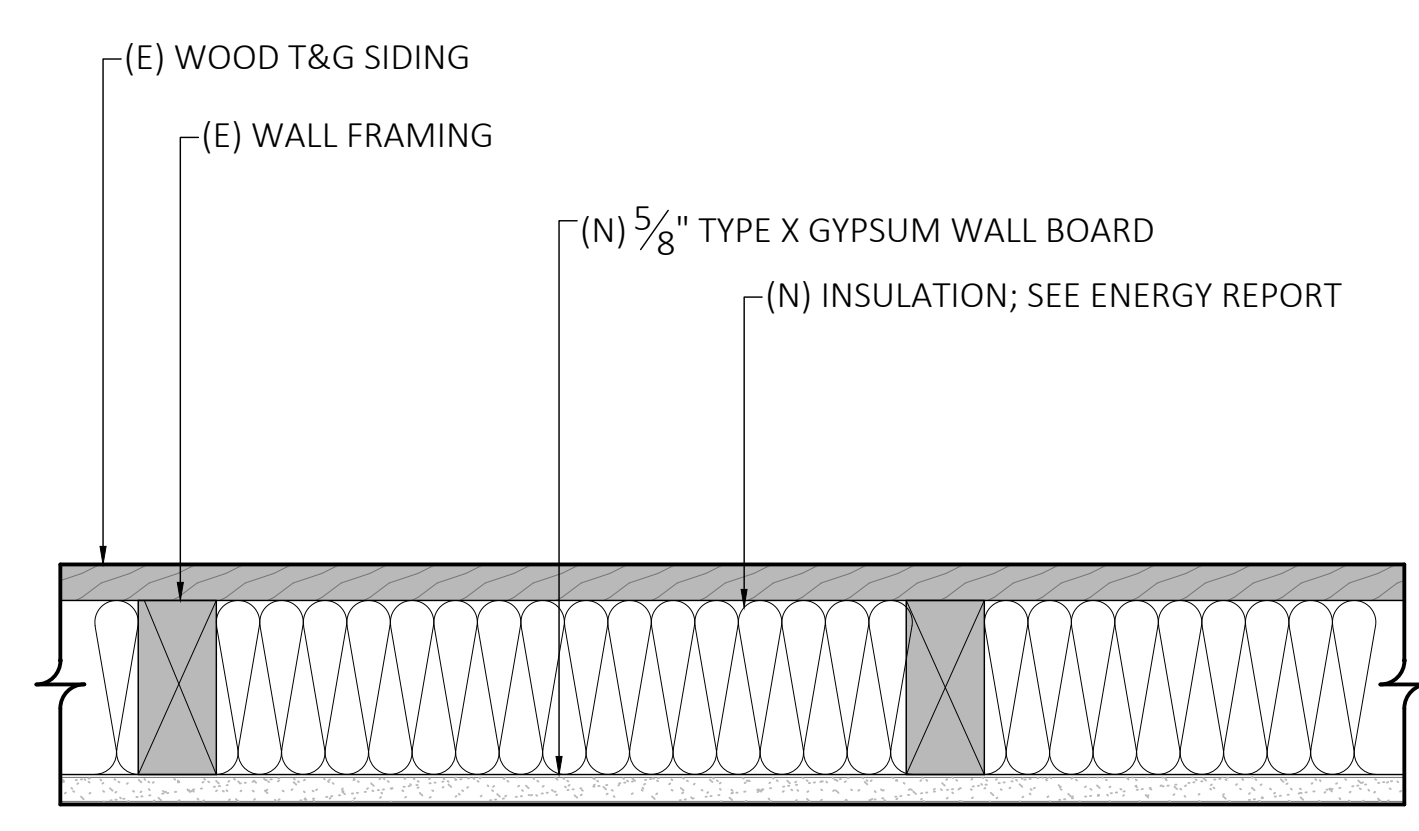
JOB # 2004

ASSEMBLY DETAILS

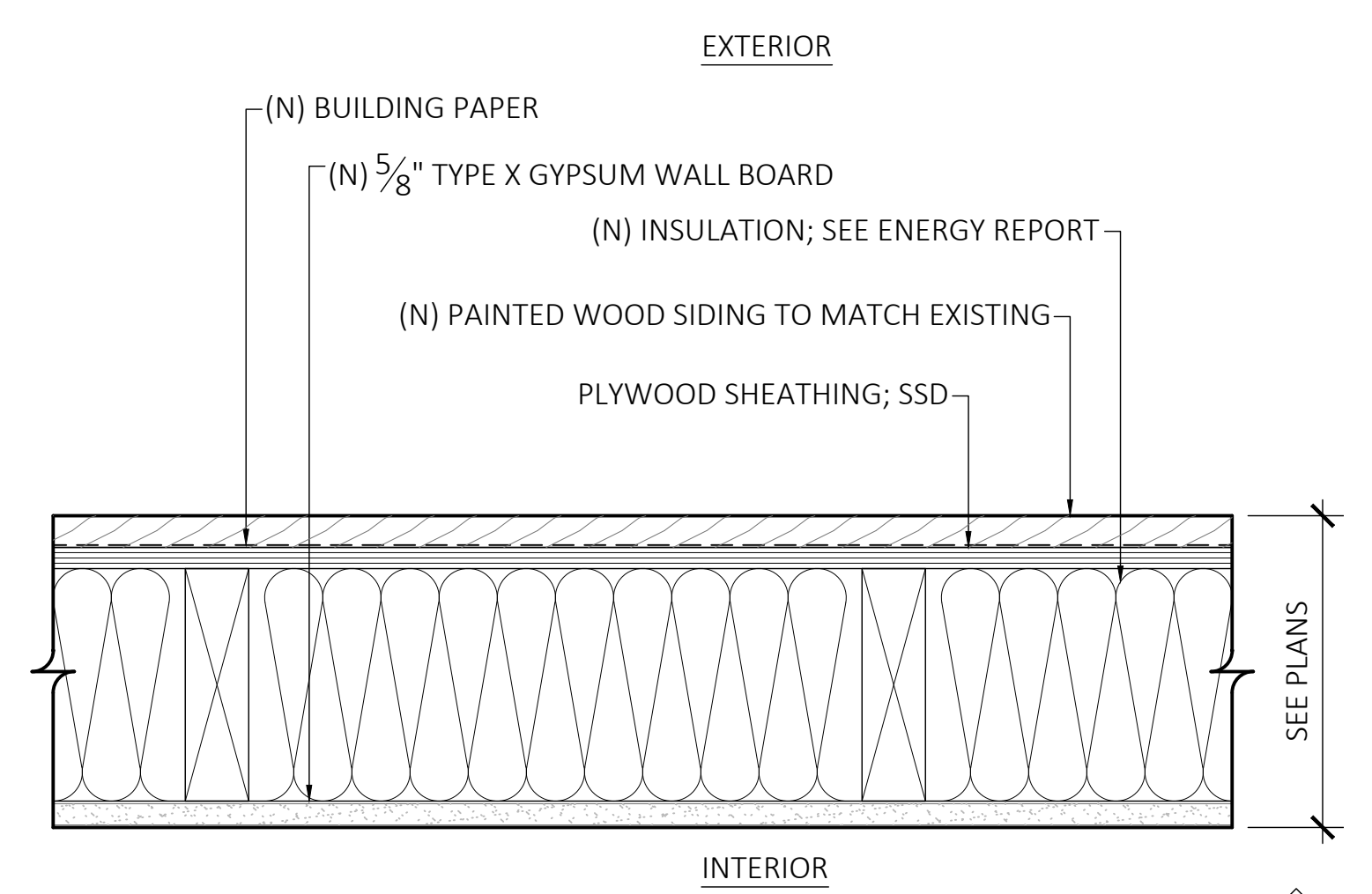
A8.2.2

SCALE: 3" = 1'-0"

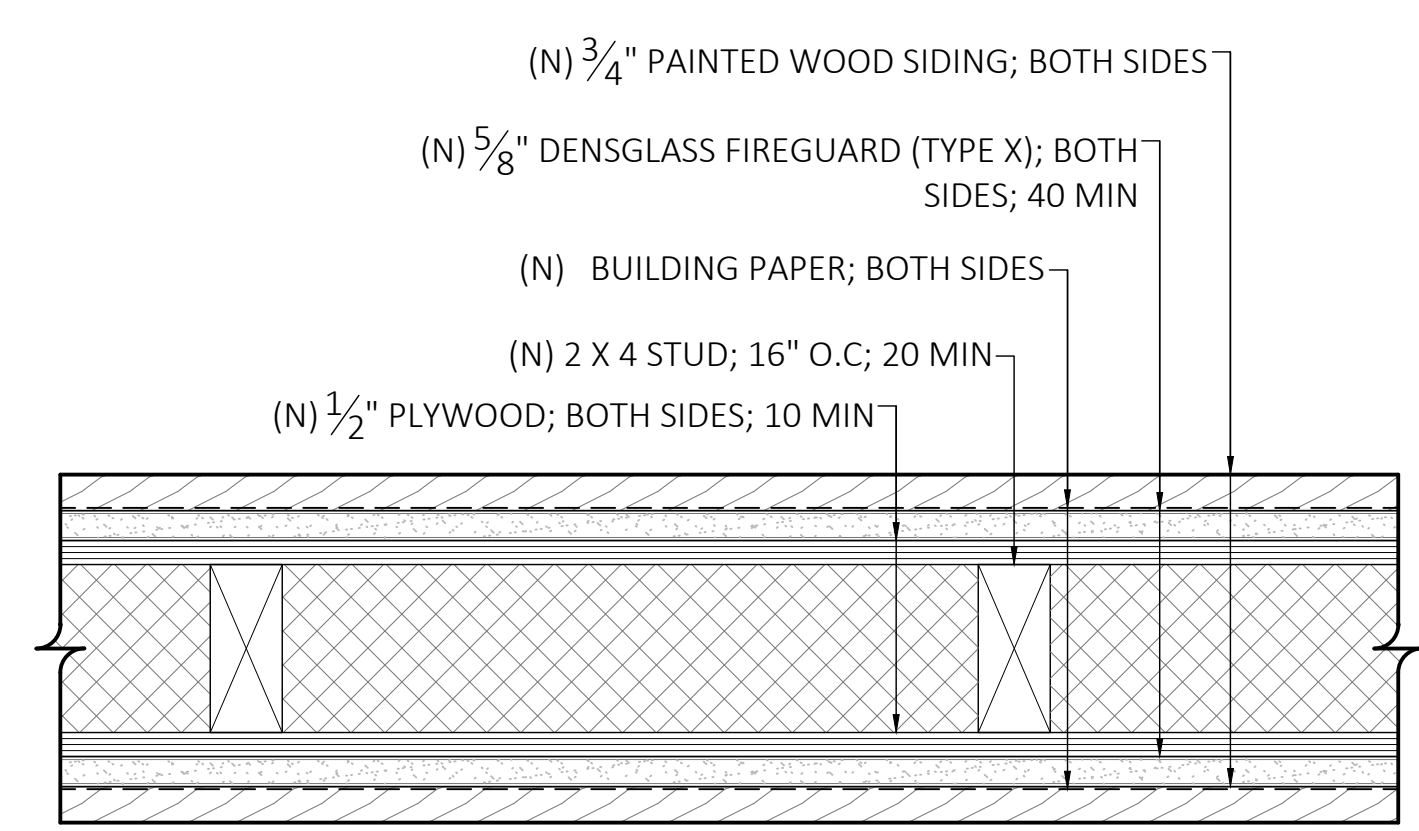
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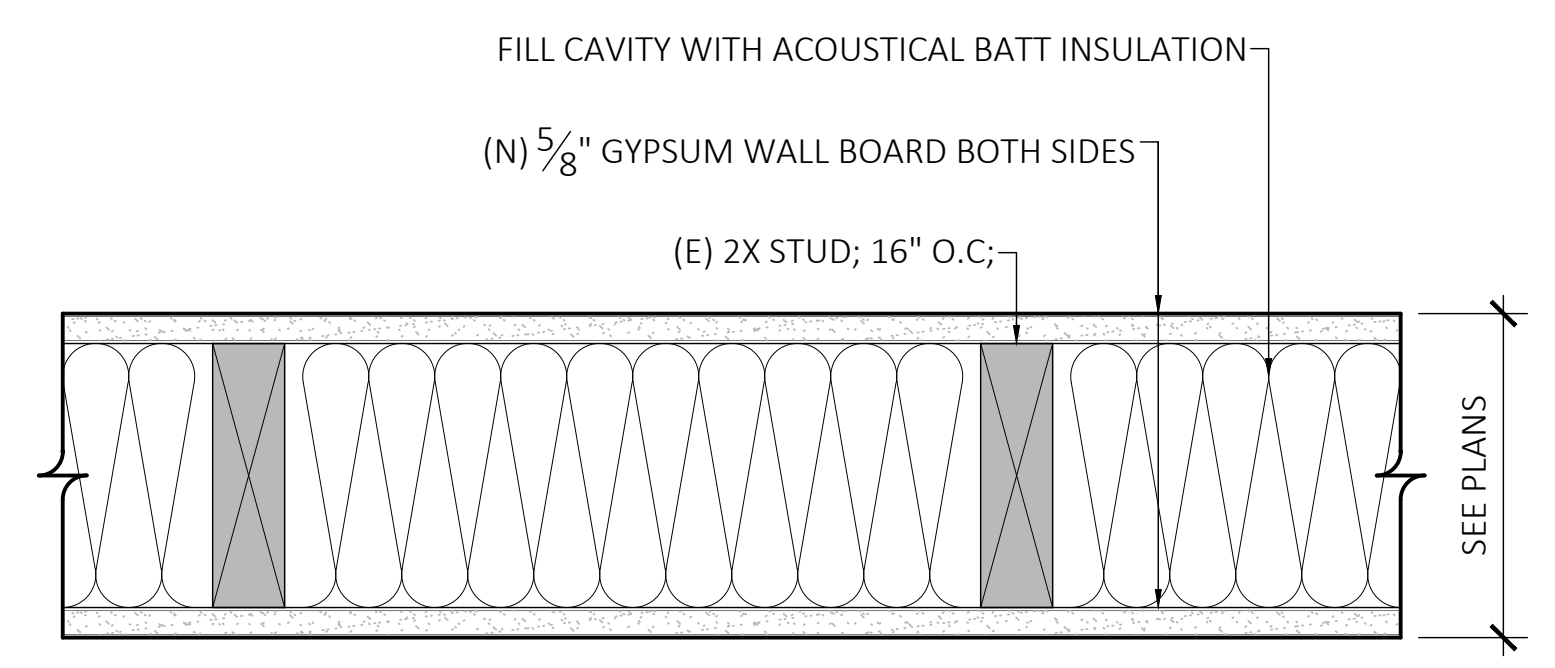
EXTERIOR WALL ASSEMBLY ^{W-9} 3
3" = 1'-0"



EXTERIOR WALL ASSEMBLY ^{W-8} 2
3" = 1'-0"



EXTERIOR WALL ASSEMBLY ^{W-7} 1
3" = 1'-0"
REFERENCE: CBC 722.6.2



INTERIOR WALL ASSEMBLY ^{W-10} 7
3" = 1'-0"

| | 720 STEINER STREET | 718 STEINER STREET | 716 STEINER STREET | 714 STEINER STREET | 712 STEINER STREET | 710 STEINER STREET |
|---------------------------------------|--|--|--|--|--|--|
| WATER CONNECTION DATE | OCTOBER 22, 1895 | OCTOBER 22, 1895 | MAY 22, 1895 | MAY 18, 1895 | JANUARY 14, 1895 | AUGUST 3, 1894 |
| IMAGE | | | | | | |
| VISIBLE MATERIAL OF TREADS AND RISERS | TERRAZZO | TERRAZZO | MARBLE AND TOP STEP IS TERRAZZO | TERRAZZO | MARBLE AND TOP STEP IS PAINTED TERRAZZO | TERRAZZO AND CONCRETE |
| VISIBLE MATERIAL OF WING WALLS | CEMENT PLASTER SCORED TO LOOK LIKE SMOOTH STONE | CEMENT PLASTER SCORED TO LOOK LIKE SMOOTH STONE | CEMENT PLASTER SCORED TO LOOK LIKE RUSTICATED STONE | CEMENT PLASTER SCORED TO LOOK LIKE RUSTICATED STONE | CEMENT PLASTER SCORED TO LOOK LIKE SMOOTH STONE | CEMENT PLASTER SCORED TO LOOK LIKE SMOOTH STONE AND TERRAZZO CAP |
| VISIBLE MATERIAL OF NEWEL POSTS | BOTTOM: SAME AS WING WALLS TOP: WOOD | BOTTOM: SAME AS WING WALLS TOP: SAME AS WING WALLS WITH TERRAZZO CAP | BOTTOM: SAME AS WING WALLS TOP: WOOD | BOTTOM: SAME AS WING WALLS TOP: WOOD | BOTTOM: SAME AS WING WALLS TOP: WOOD | BOTTOM: SAME AS WING WALLS TOP: SAME AS WING WALLS |
| VISIBLE FORM OF NEWEL POSTS | BOTTOM: OCTAGONAL WITH OCTAGONAL RAISED CAP TOP: SQUARED WITH MOLDING, SUPPORTING PORTICO COLUMNS | BOTTOM: OCTAGONAL WITH OCTAGONAL RAISED CAP TOP: SQUARED WITH FLAT CAPS, SUPPORTING PORTICO COLUMNS | BOTTOM: CYLINDRICAL WITH CENTERED HALF-CIRCULAR CAP TOP: SQUARED WITH MOLDING, SUPPORTING PORTICO COLUMNS | BOTTOM: CYLINDRICAL WITH A FLAT TOP TOP: SQUARED WITH MOLDING AND PANELING DETAIL, SUPPORTING PORTICO COLUMNS | BOTTOM: CYLINDRICAL WITH CENTERED HALF-CIRCULAR CAP TOP: SQUARED WITH MOLDING AND PANELING DETAIL, SUPPORTING PORTICO COLUMNS | BOTTOM: SQUARED WITH FLAT CAPS TOP: SQUARED WITH FLAT CAPS, SUPPORTING ONE PORTICO COLUMN |

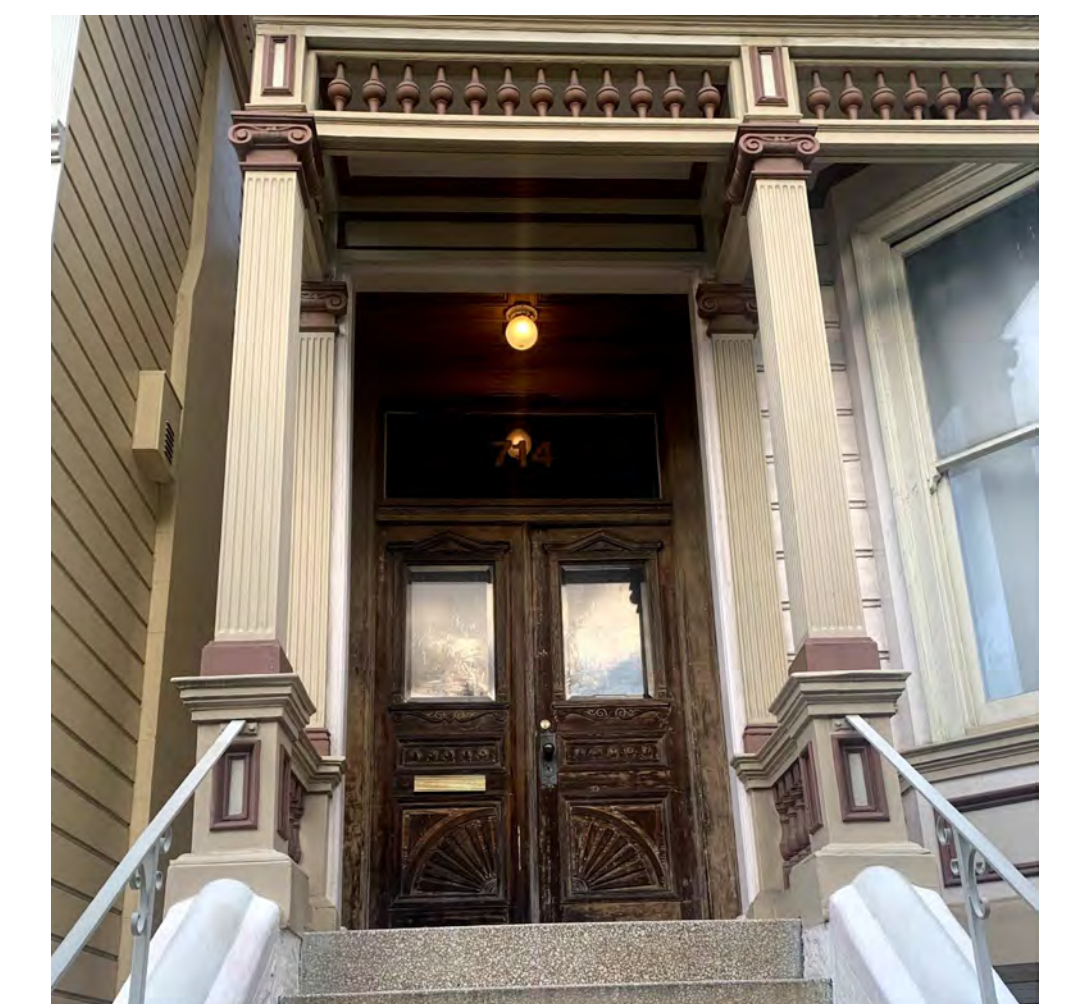
NEIGHBORING FRONT STAIR MATRIX 1



EXISTING FRONT STAIR 4
N.T.S.



EXISTING GARAGE DOOR 3
N.T.S.

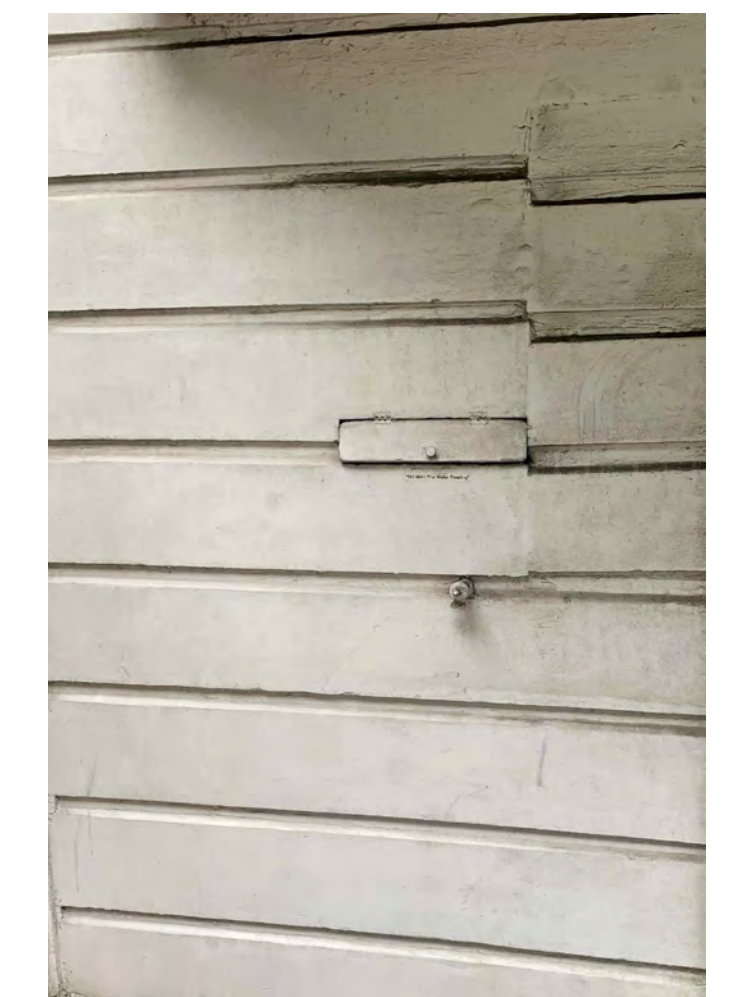


EXISTING FRONT PORCH 2
N.T.S.

EXISTING NON-ORIGINAL BASE CAP TO BE REMOVED AND REPLACED WITH BASE CAP TO MATCH ORIGINAL ON PILASTER



EXISTING COLUMN BASE PROFILES 6
N.T.S.



EXISTING SIDING 5
N.T.S.



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(415) 440-2880



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714 STEINER STREET, SAN FRANCISCO, CA 94117

| | |
|-----------------|----------|
| ISSUANCE | DATE |
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| PLAN CHECK | 08.24.21 |
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C OF A: EXISTING ENTRY STAIR AND CHARACTER PHOTOS

A8.3.1

SCALE: N.T.S.

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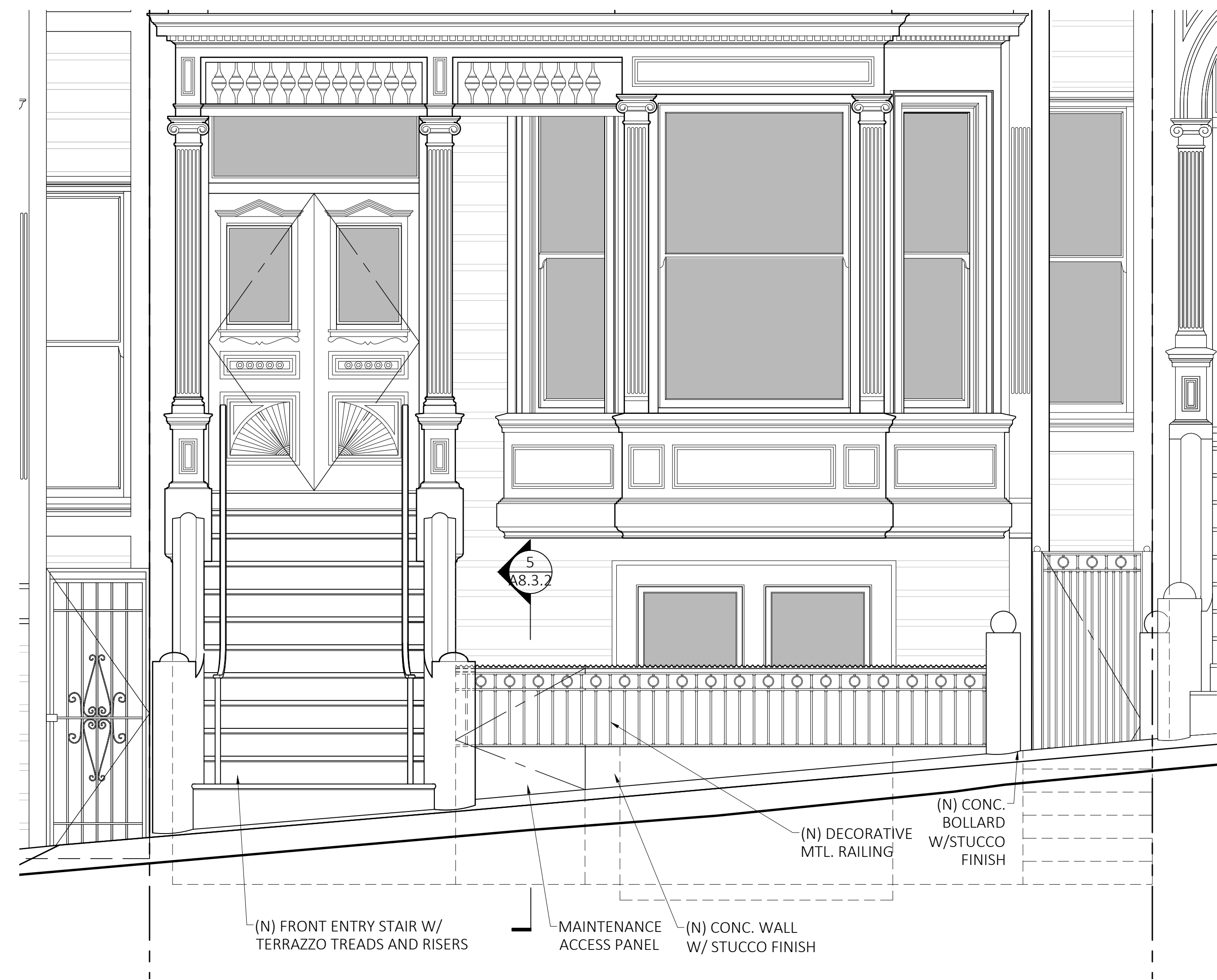
| | |
|-----------------|----------|
| ISSUANCE | DATE |
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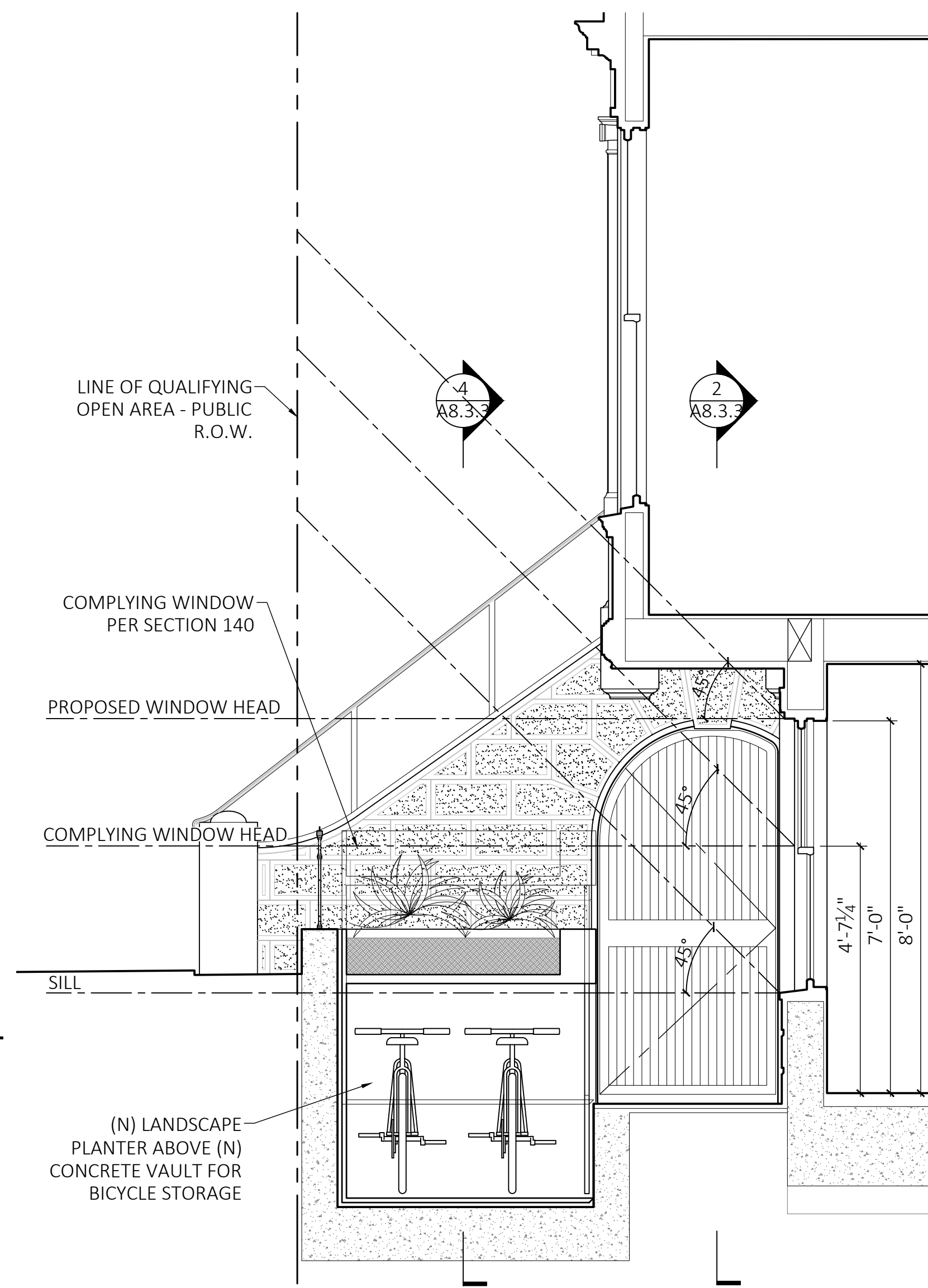
ENTRY STAIR: ENLARGED PLANS, ELEVATIONS, & SECTIONS

A8.3.2

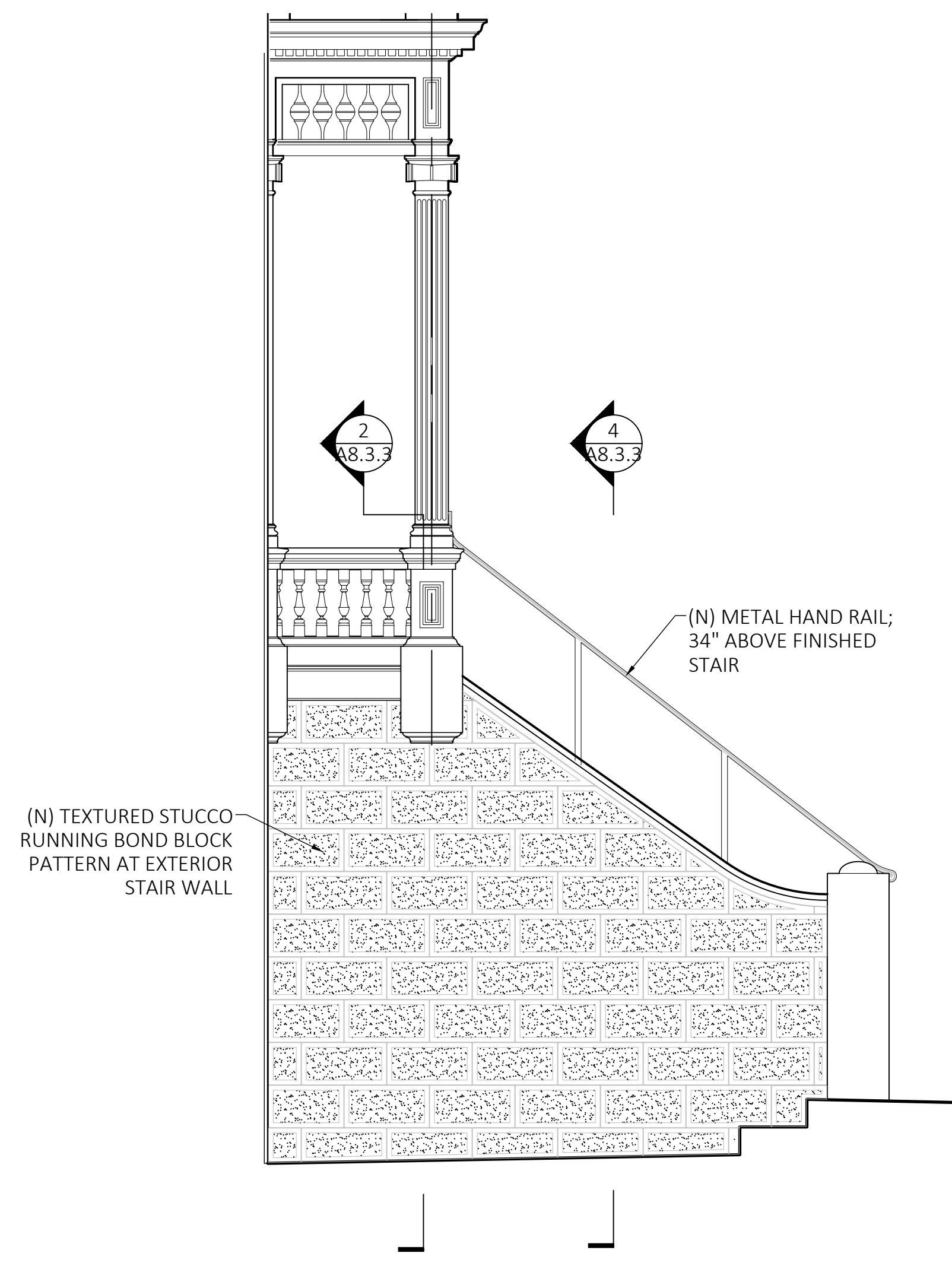
SCALE: 1/2" = 1'-0"



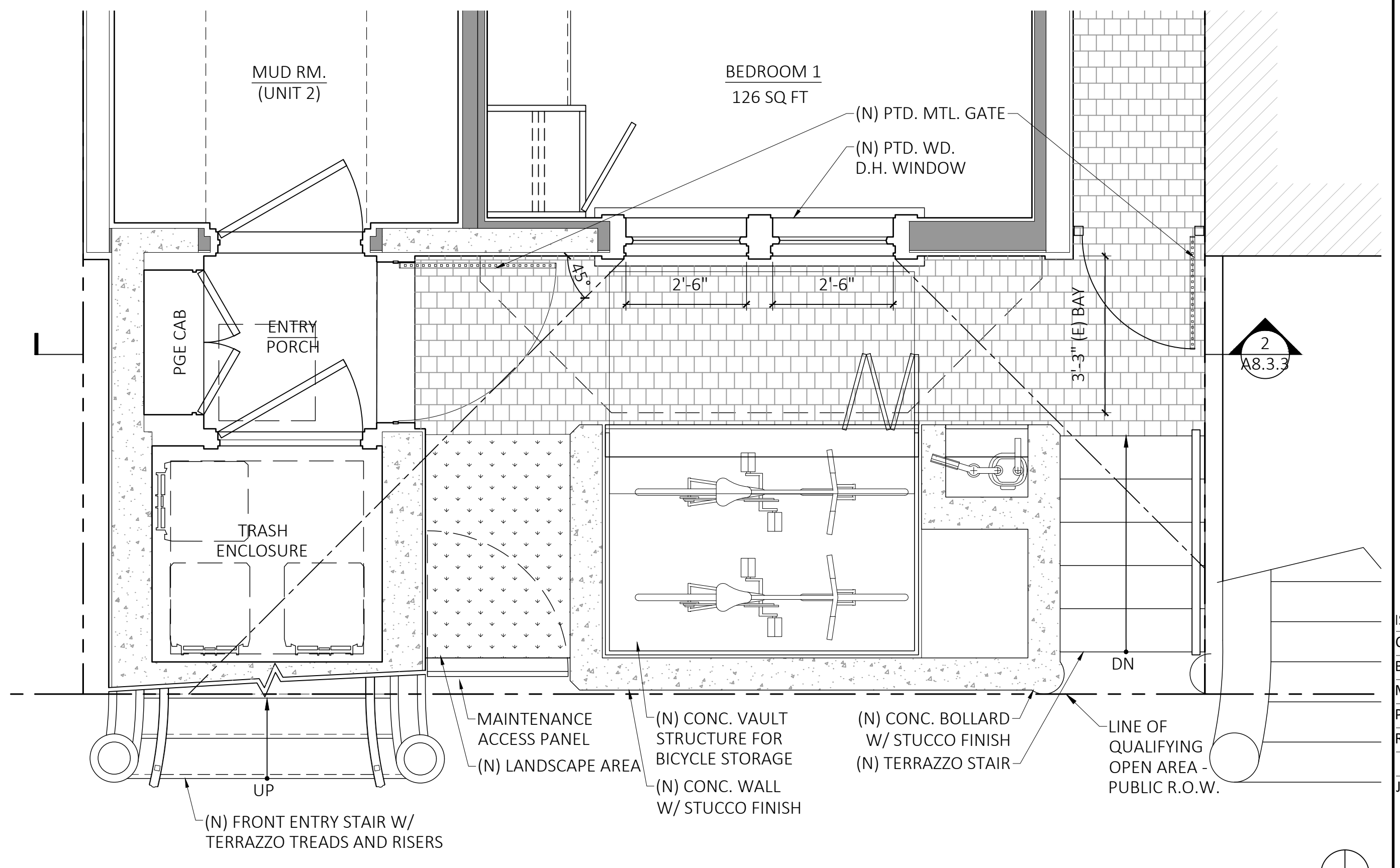
ENLARGED WEST ELEVATION - PROPOSED 2
1/2" = 1'-0"



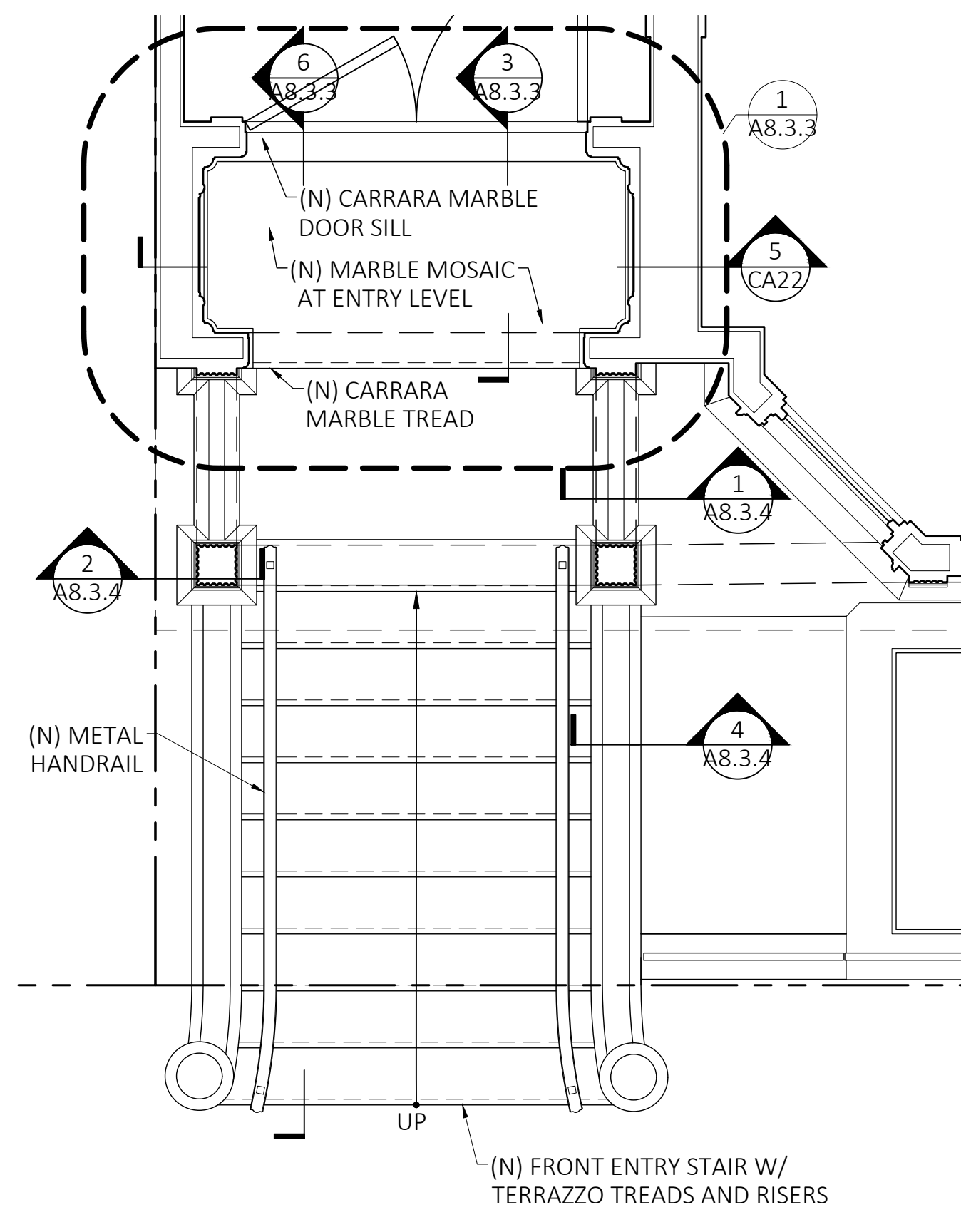
ENLARGED SECTION - PROPOSED 4
1/2" = 1'-0"



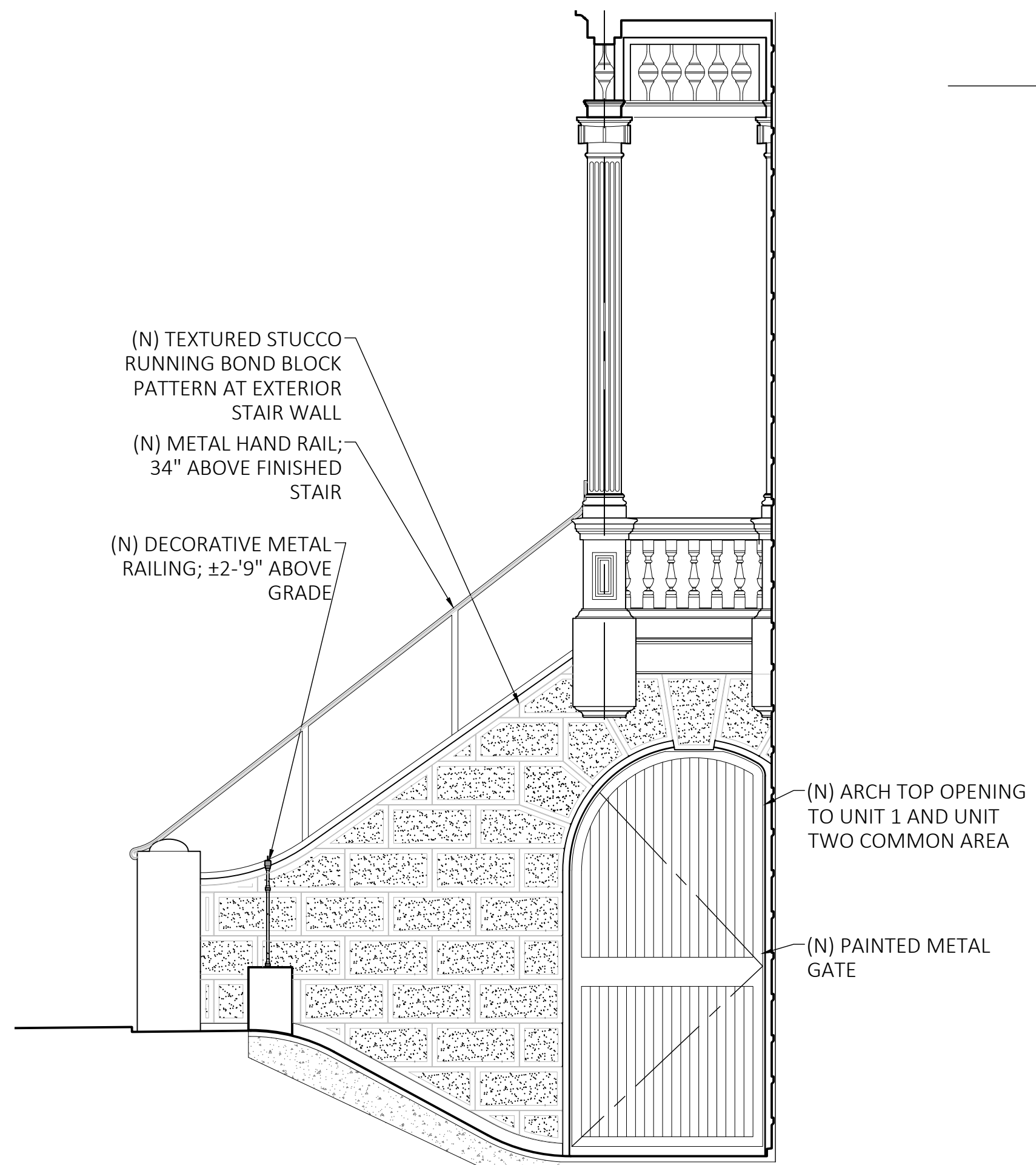
ENLARGED NORTH ELEVATION - PROPOSED 6
1/2" = 1'-0"



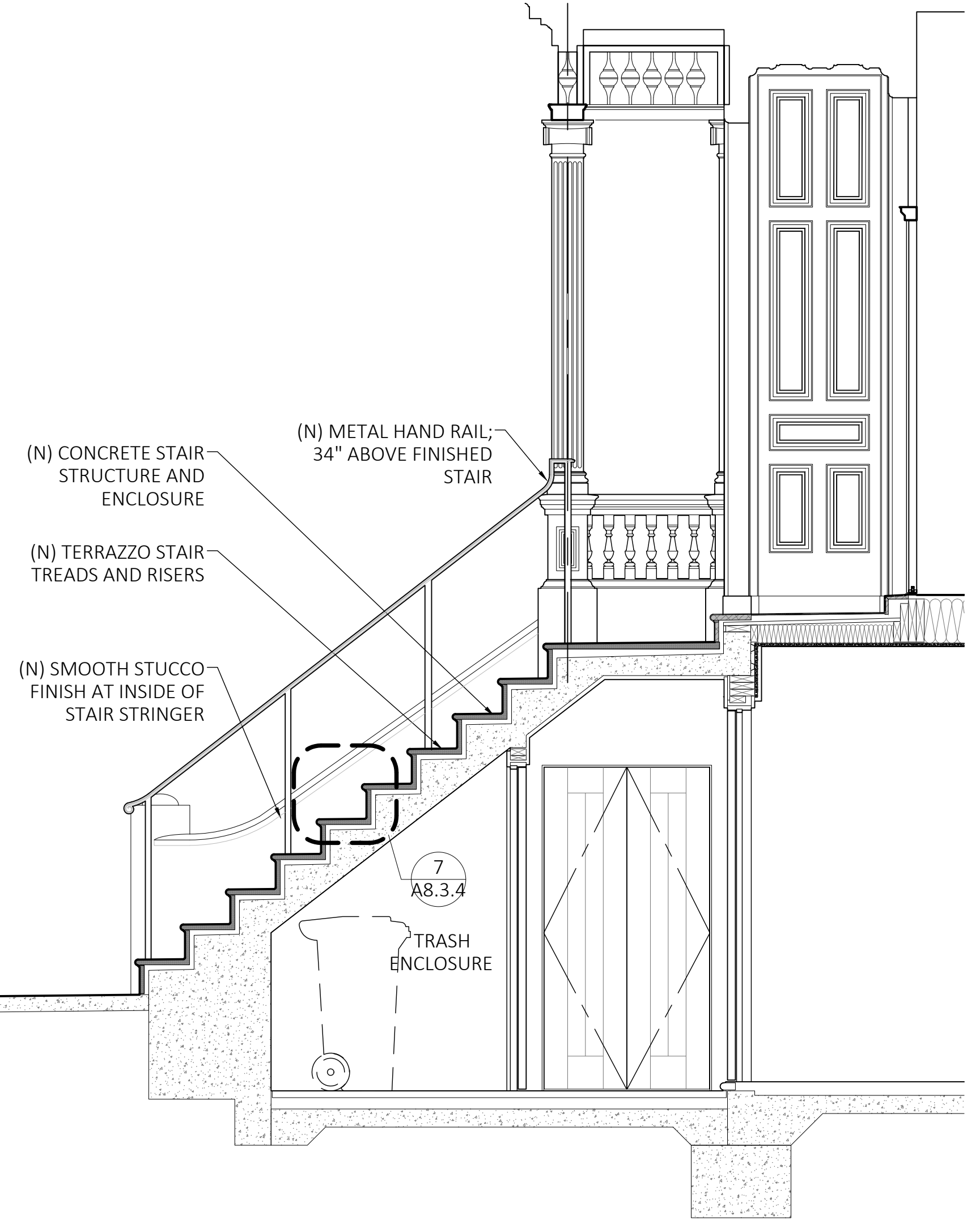
ENLARGED PLAN - PROPOSED 1
1/2" = 1'-0"



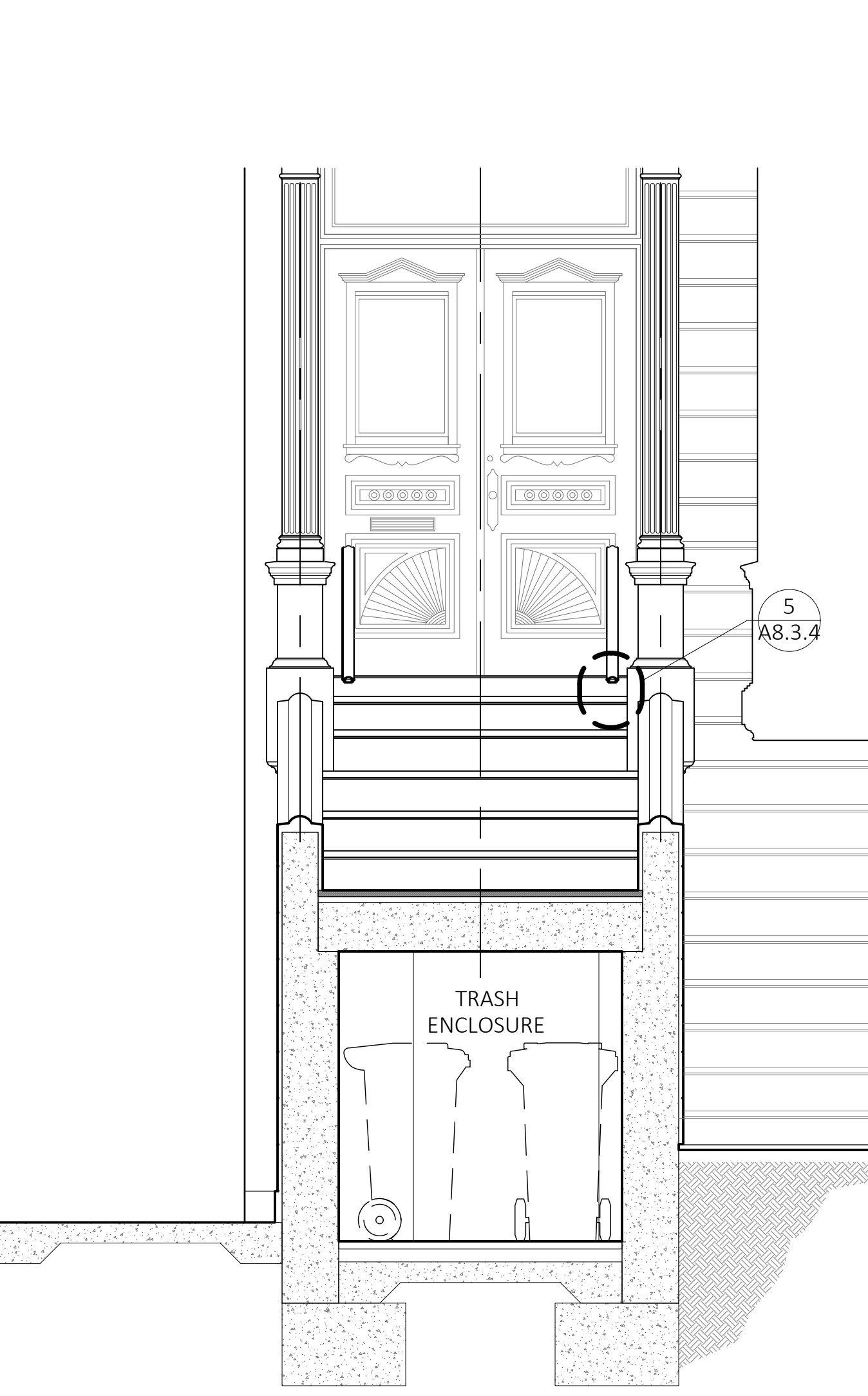
ENLARGED PLAN - PROPOSED 3
1/2" = 1'-0"



ENLARGED SOUTH ELEVATION - PROPOSED 5
1/2" = 1'-0"



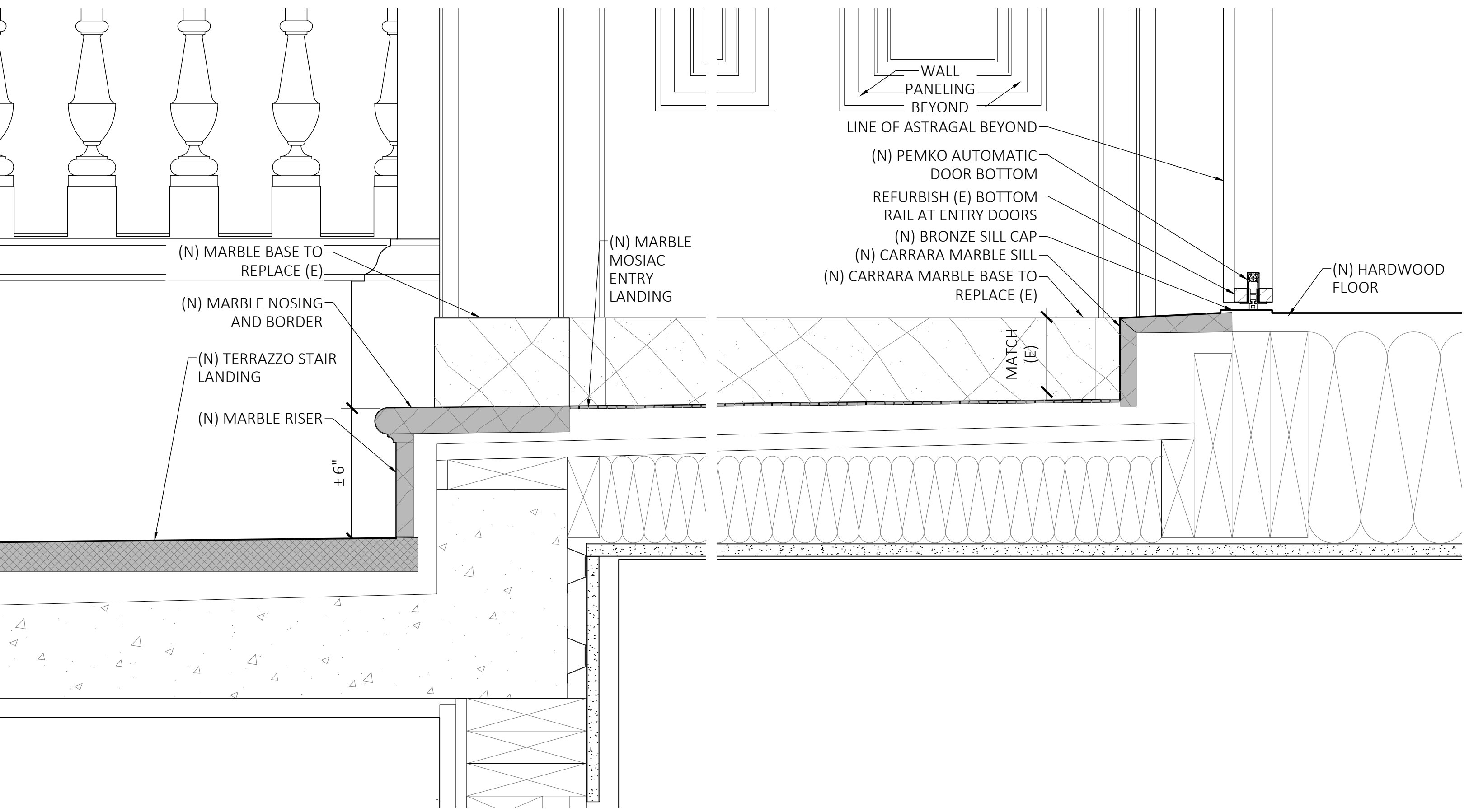
SECTION AT LOWER ENTRY - PROPOSED 6
1/2" = 1'-0"



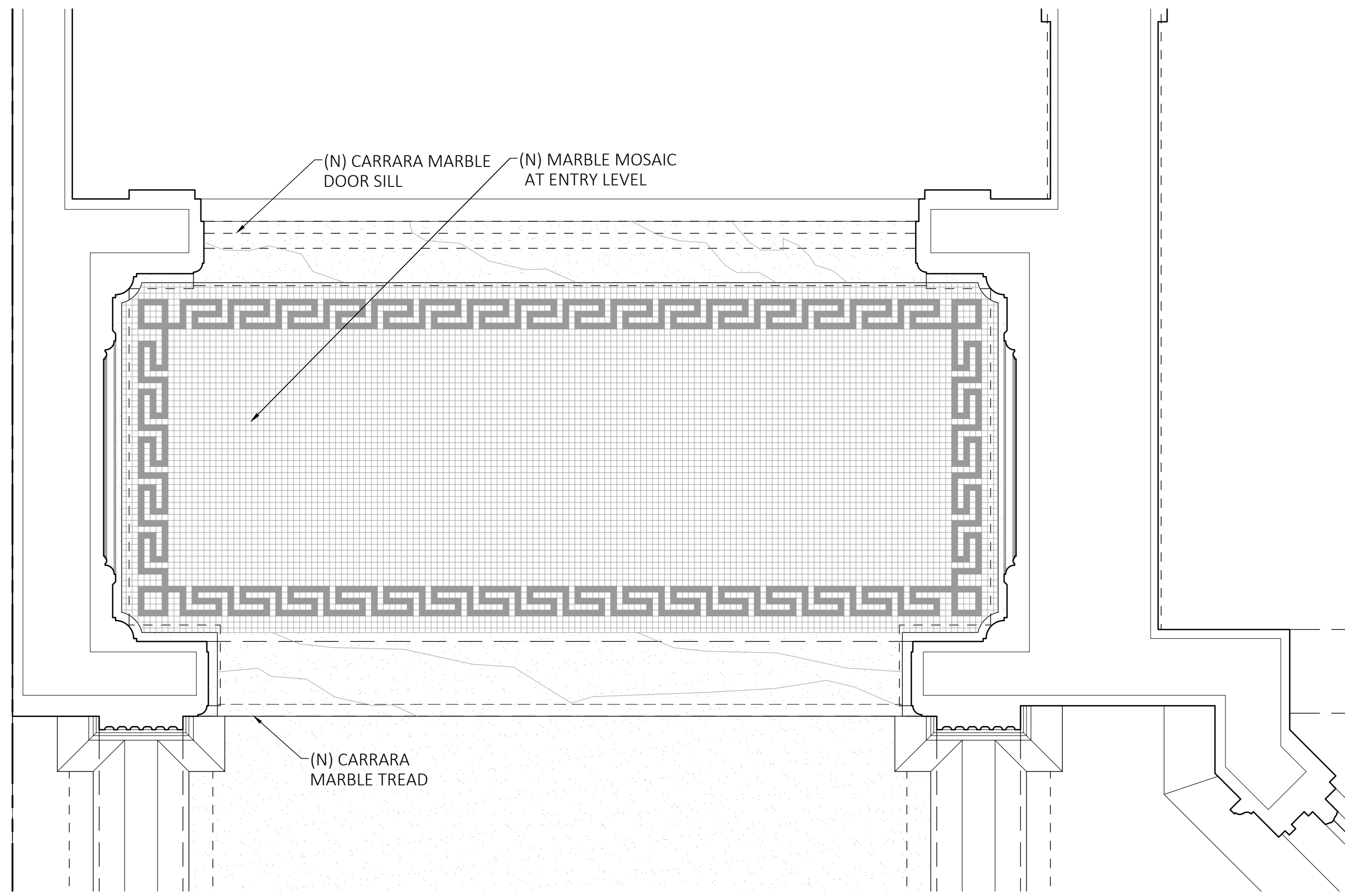
SECTION AT STAIR - PROPOSED 4
1/2" = 1'-0"



SECTION AT STAIR LANDING - PROPOSED 2
1/2" = 1'-0"



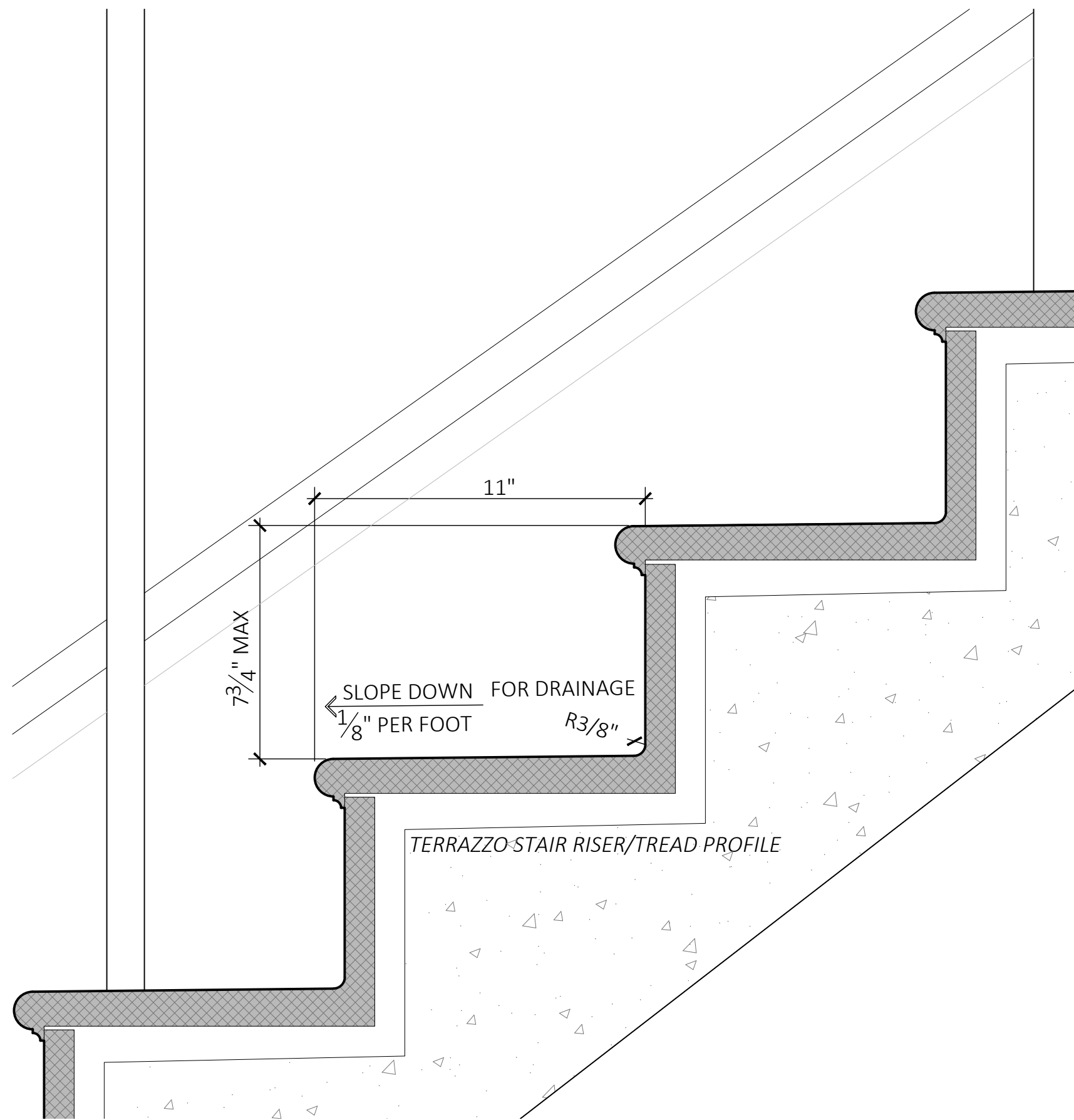
DETAIL AT UNIT 2 ENTRY LANDING - PROPOSED 3
3" = 1'-0"



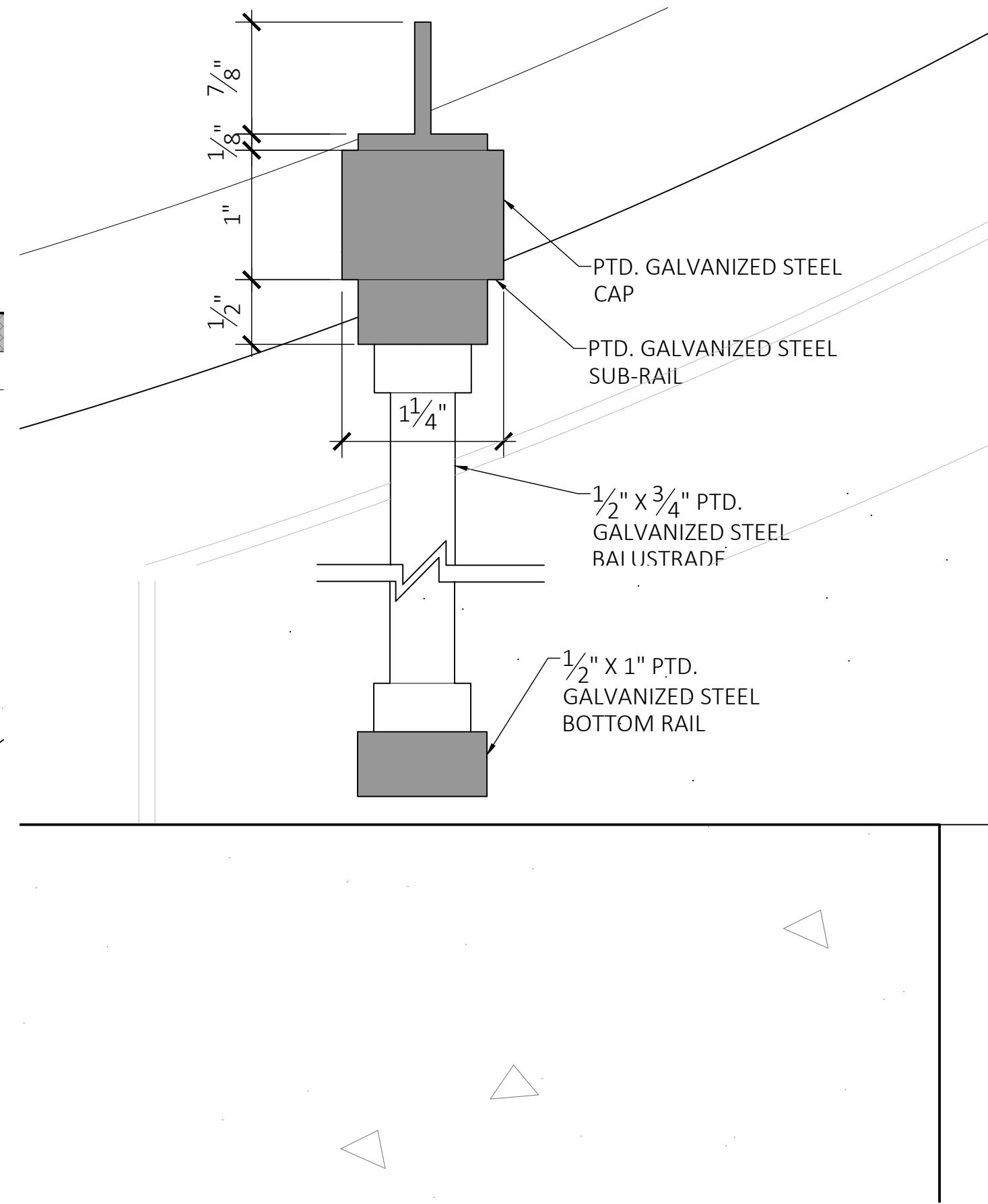
ENLARGED PORCH PLAN - PROPOSED 1
1-1/2" = 1'-0"

| | |
|--|----------|
| ISSUANCE | DATE |
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| PLAN CHECK | 08.24.21 |
| RESPONSE | |
| JOB # | 2004 |
| ENTRY STAIR: SECTIONS & ENLARGED DETAILS | |
| A8.3.3 | |
| SCALE: | AS NOTED |

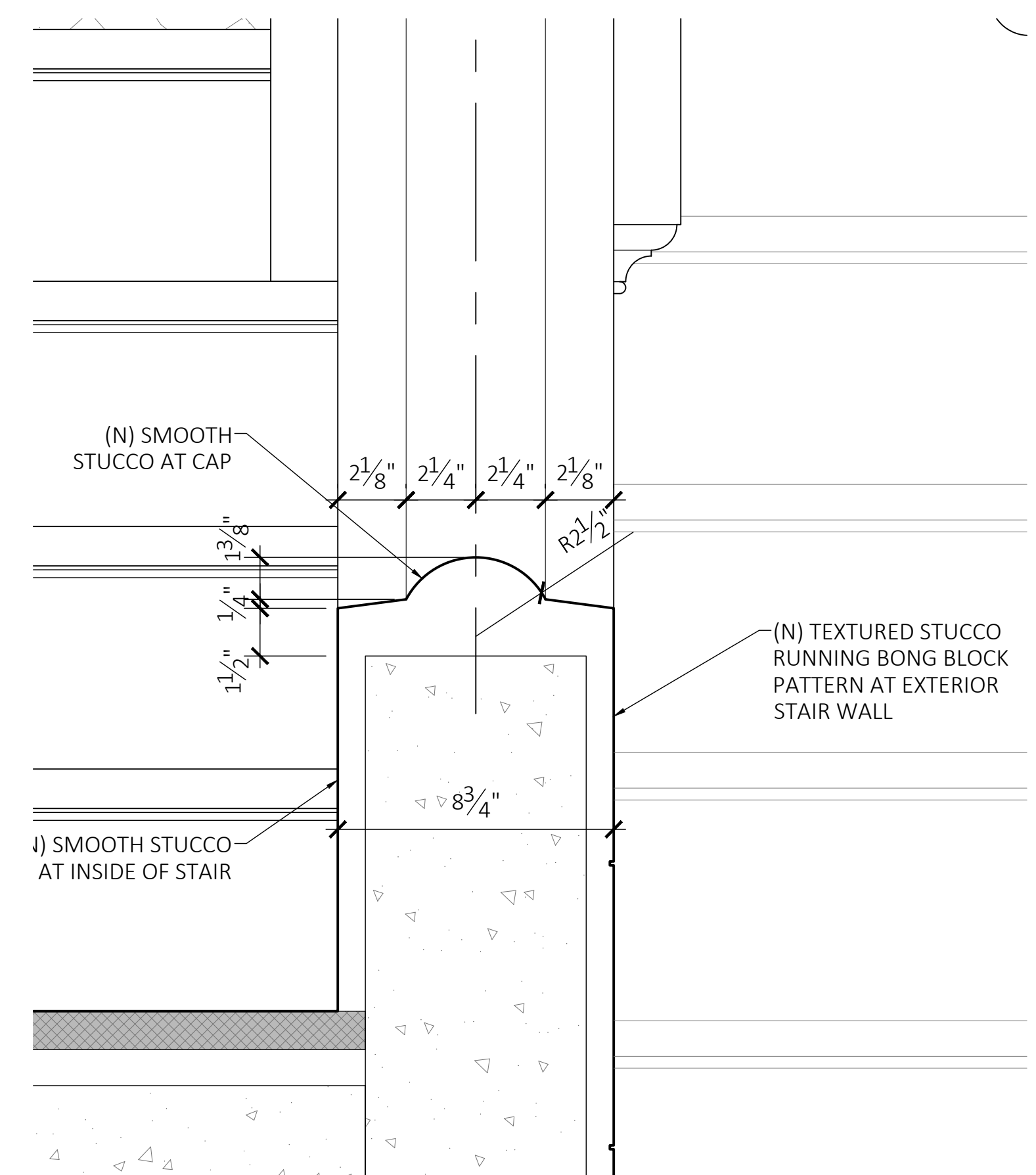
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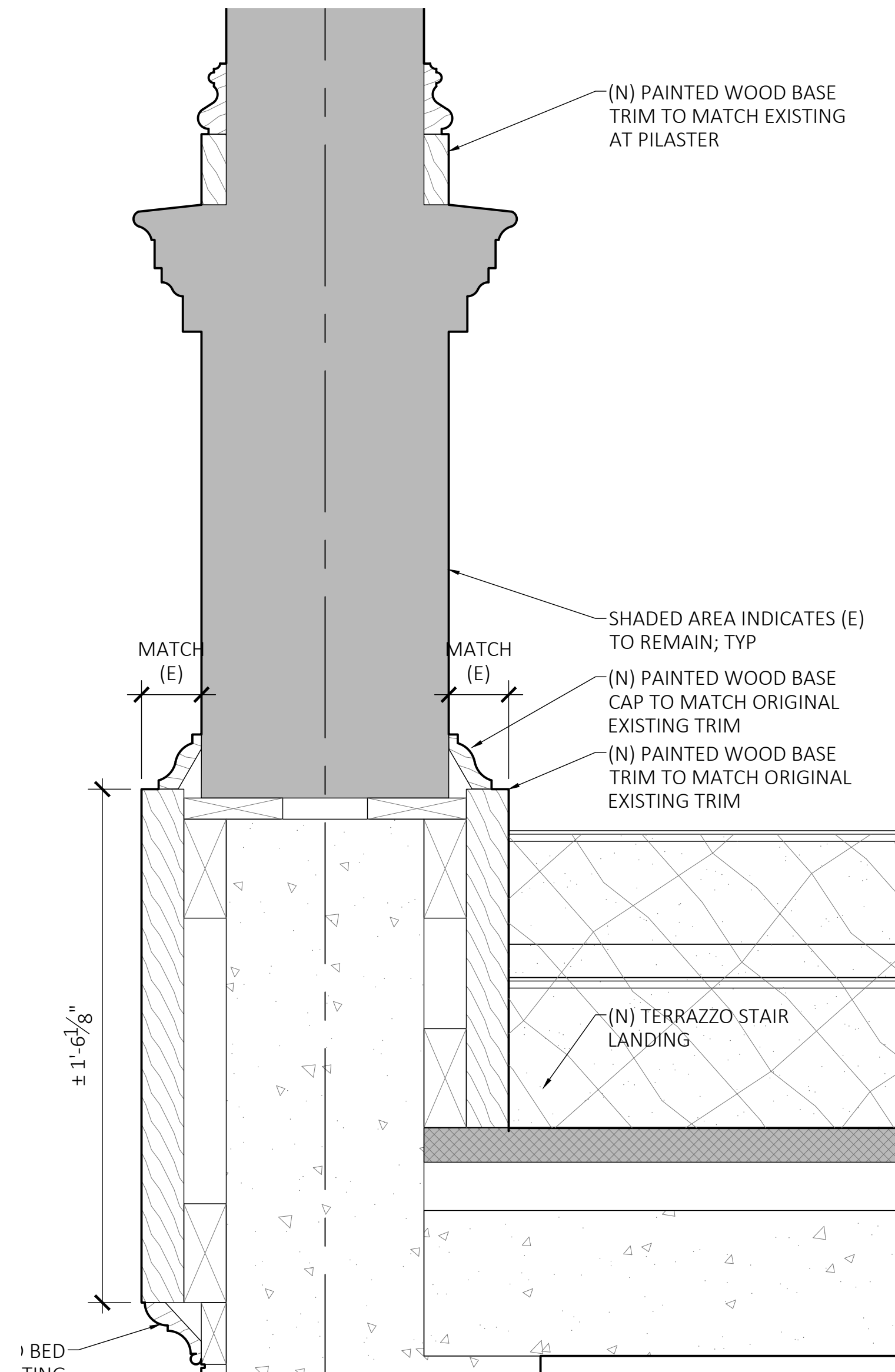
DETAIL AT STAIR TREAD/RISER - PROPOSED
3" = 1'-0"



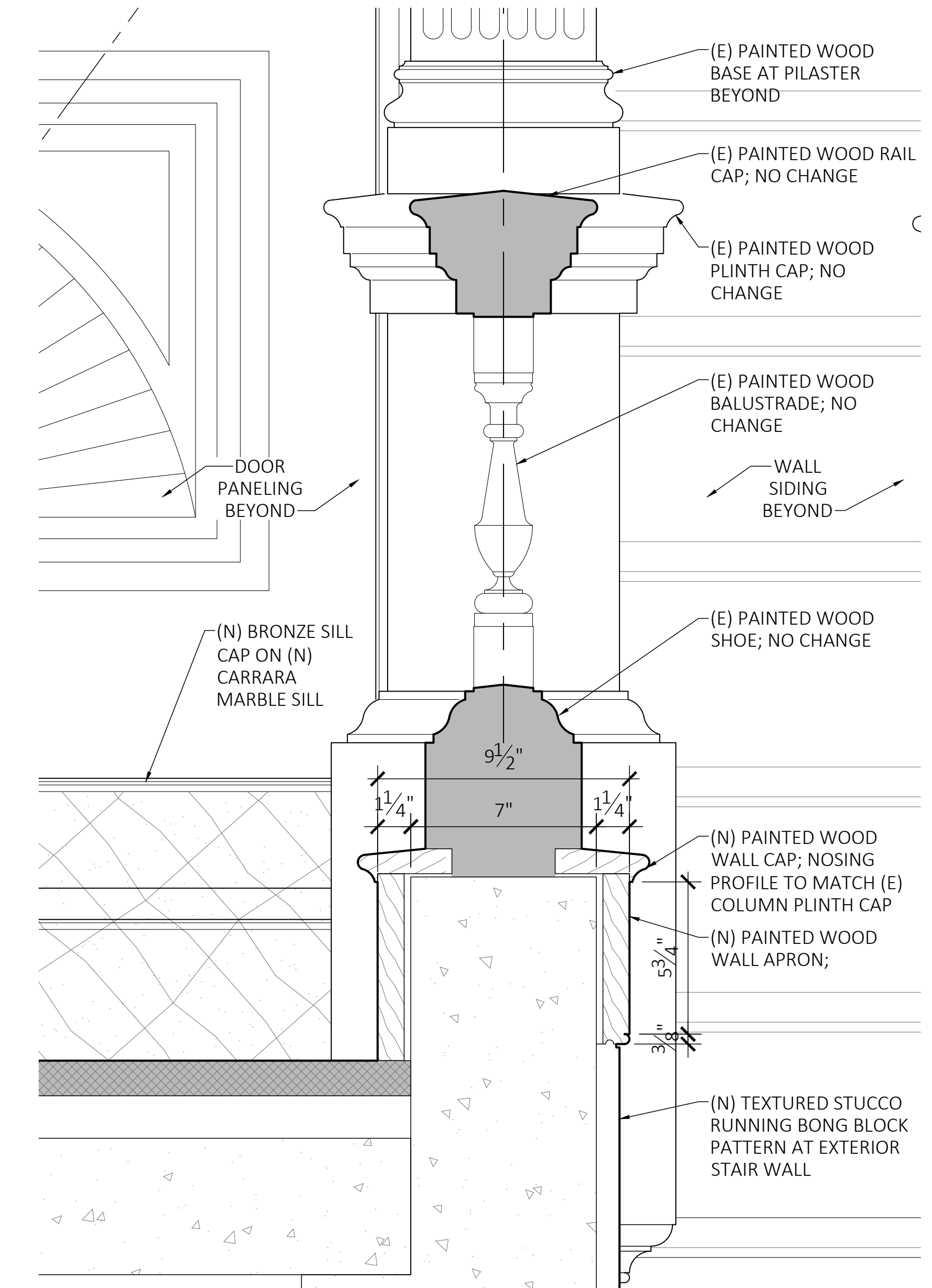
RAILING ALONG FRONT P.L. PLANTER WALLS - PROPOSED
1'-0" = 1'-0"



DETAIL AT STAIR WALL - PROPOSED
3" = 1'-0"



DETAIL AT COLUMN BASE - PROPOSED
3" = 1'-0"



DETAIL AT (E) BALASTER - PROPOSED
3" = 1'-0"

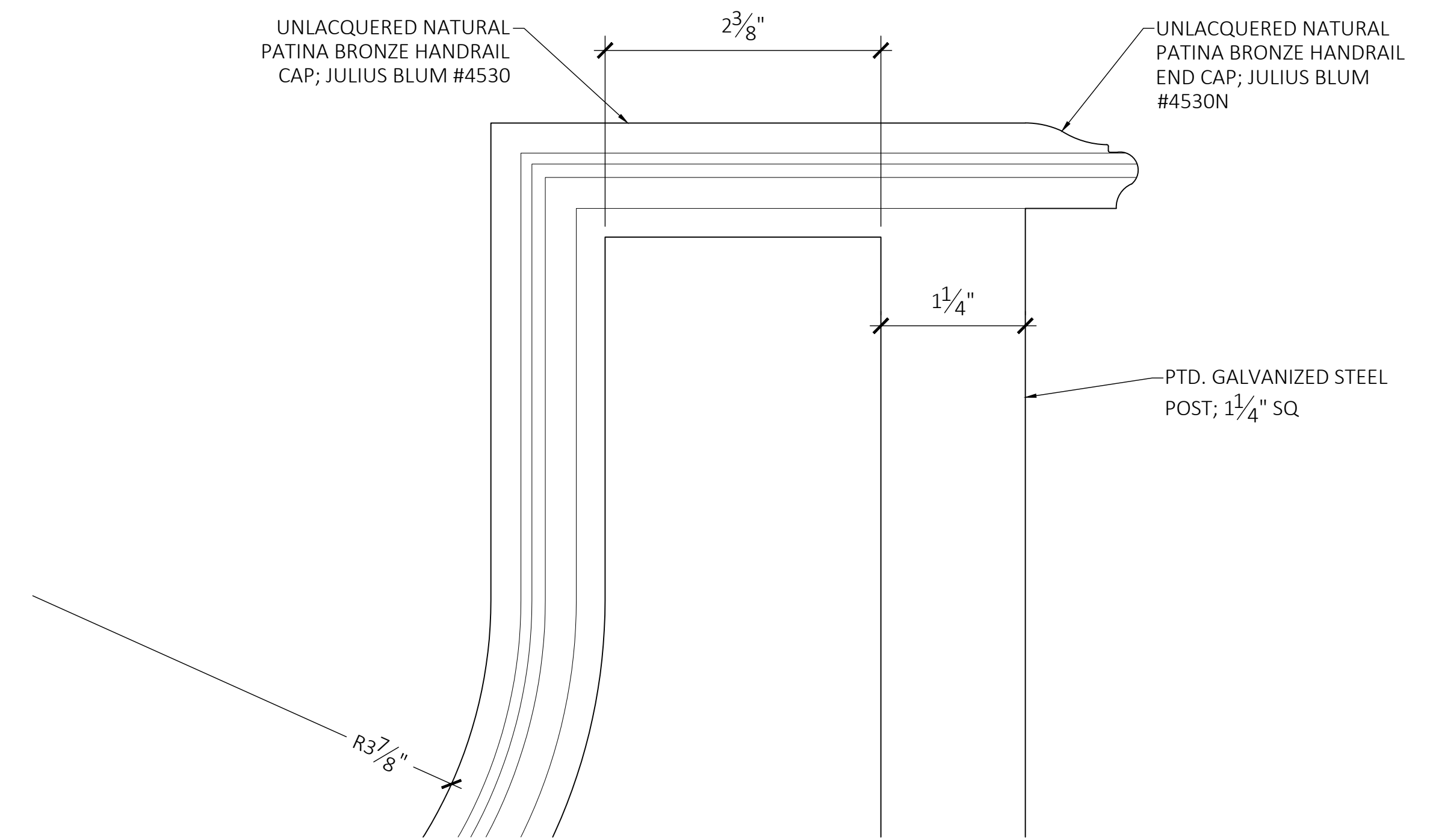
| ISSUANCE | DATE |
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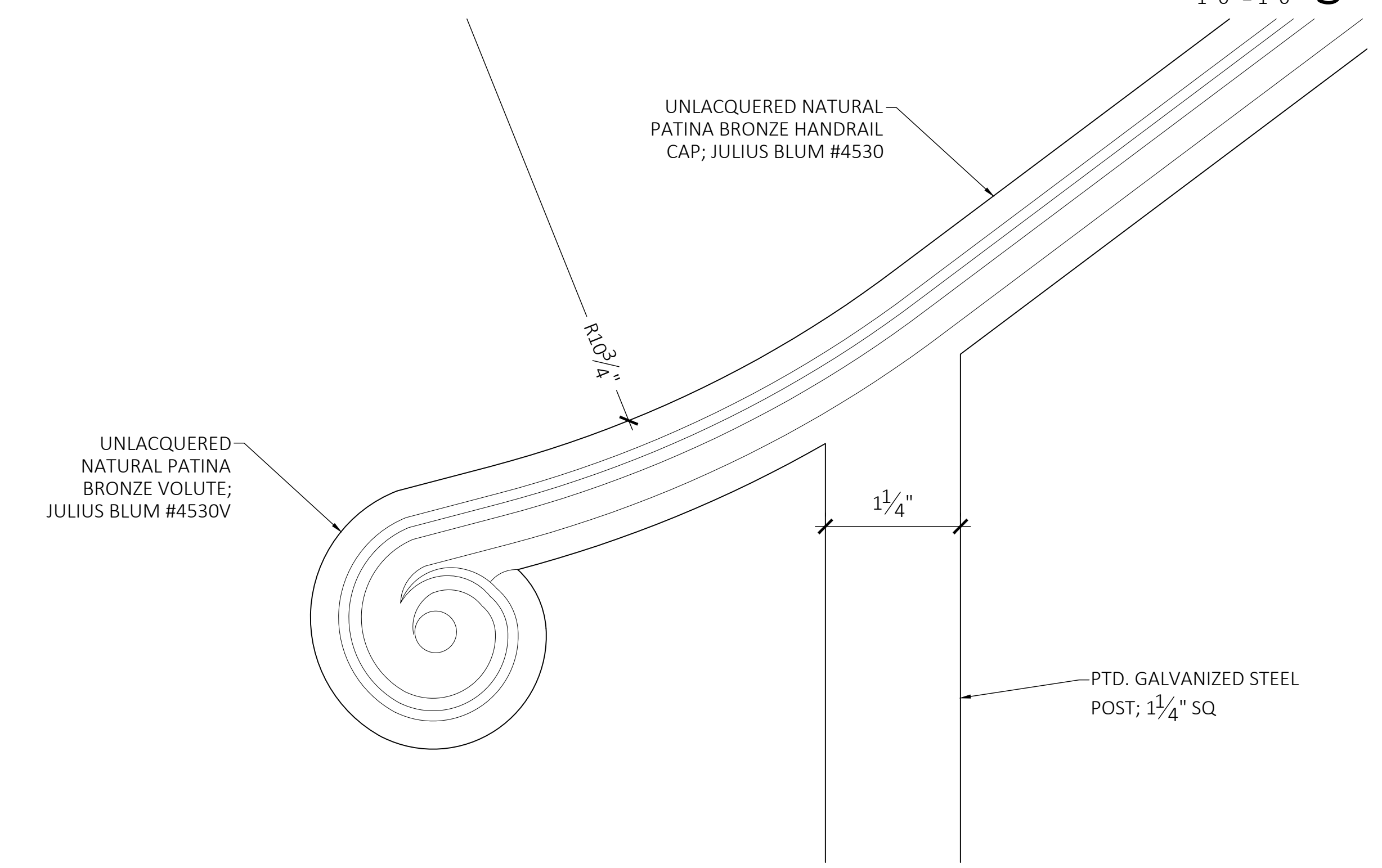
UNIT 1 ENTRY AND LANDSCAPE

A8.3.4

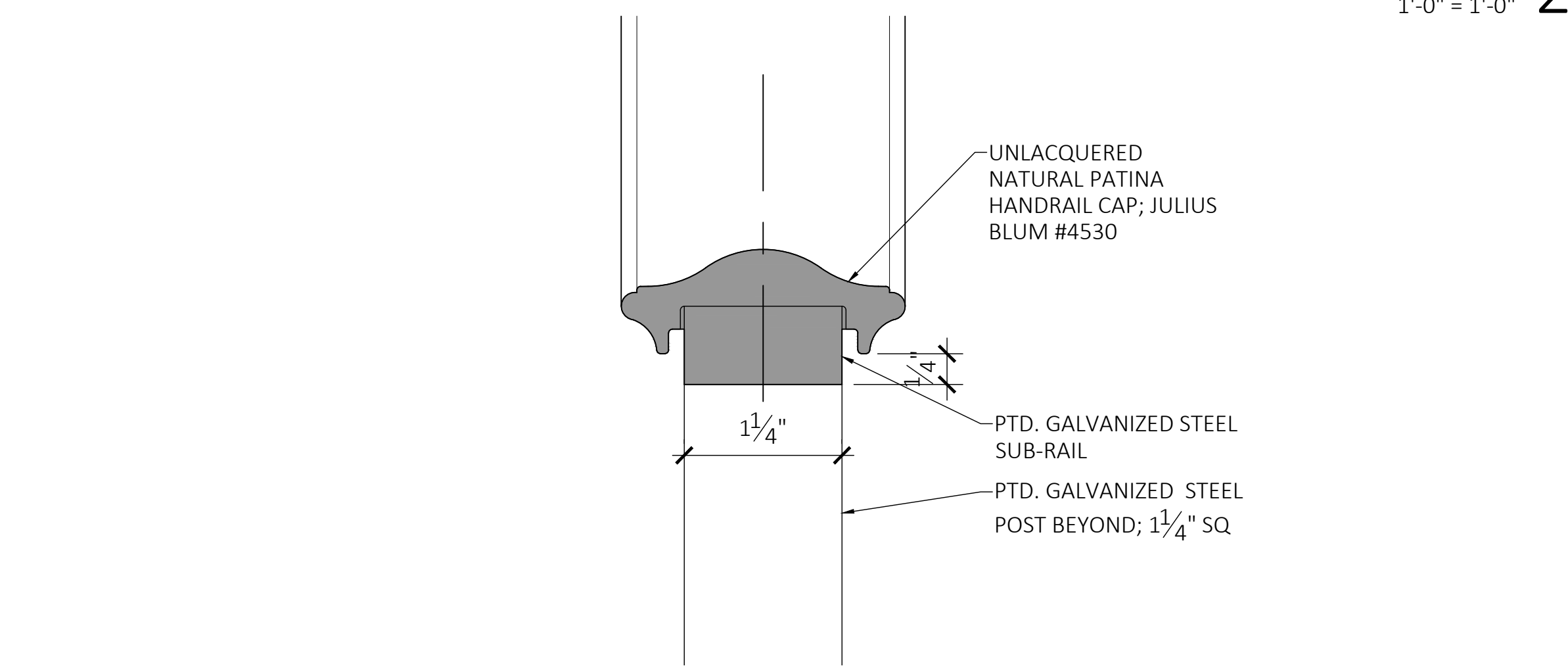
SCALE: AS NOTED



TOP OF STAIR RAIL DETAIL 3
1'-0" = 1'-0"



BOTTOM OF STAIR RAIL DETAIL 2
1'-0" = 1'-0"



STAIR RAIL CAP DETAIL 1
1'-0" = 1'-0"

| ISSUANCE | DATE |
|-----------------|----------|
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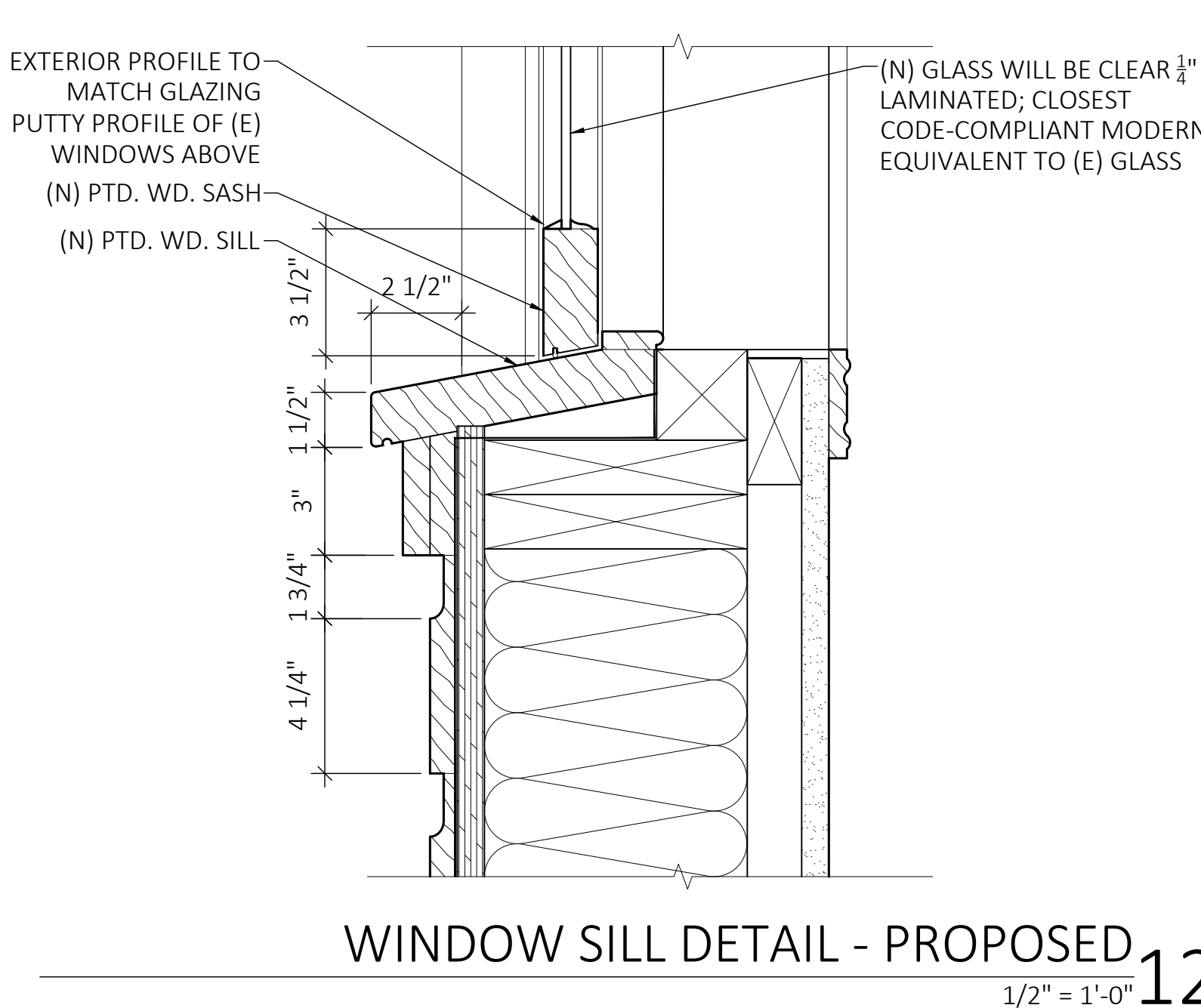
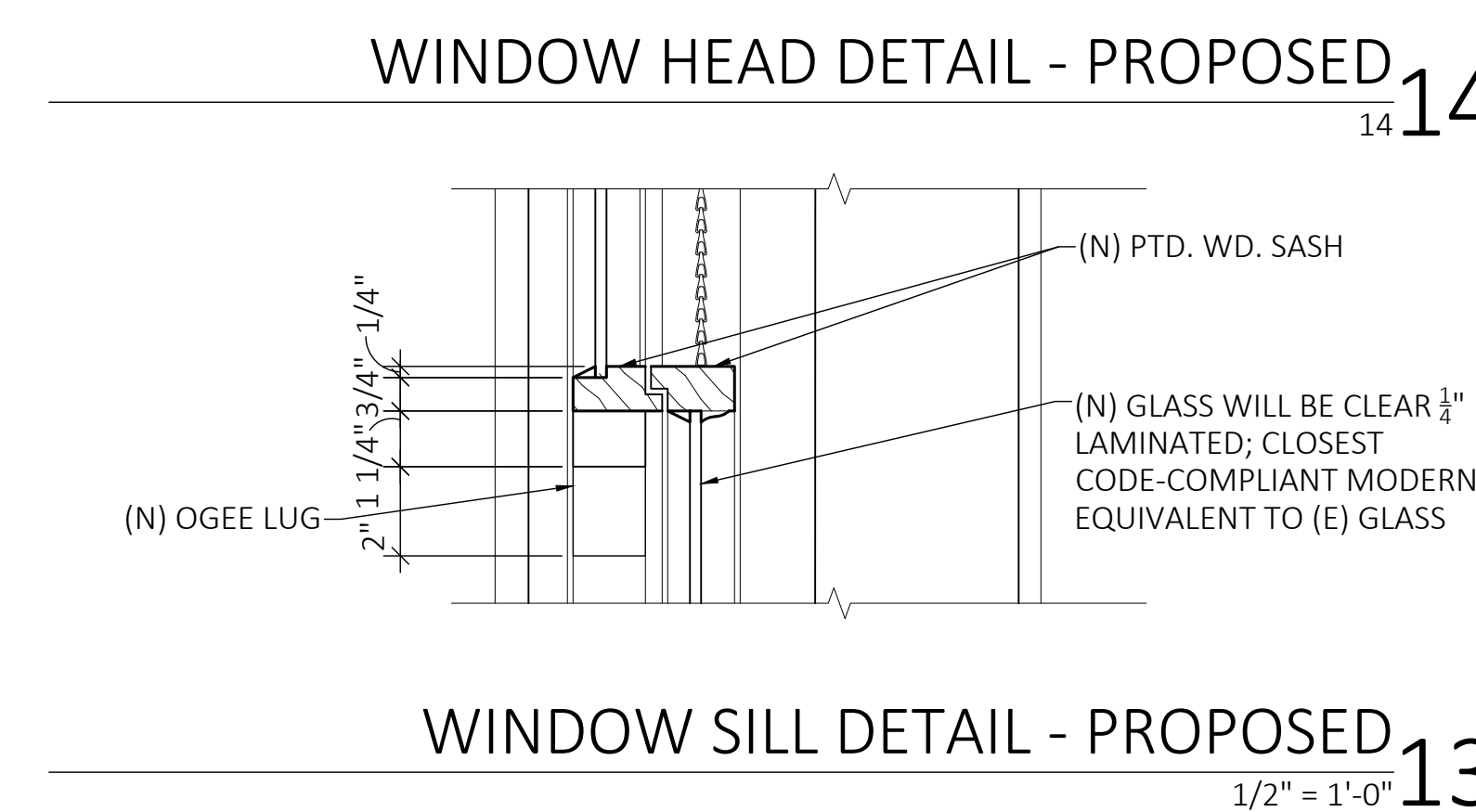
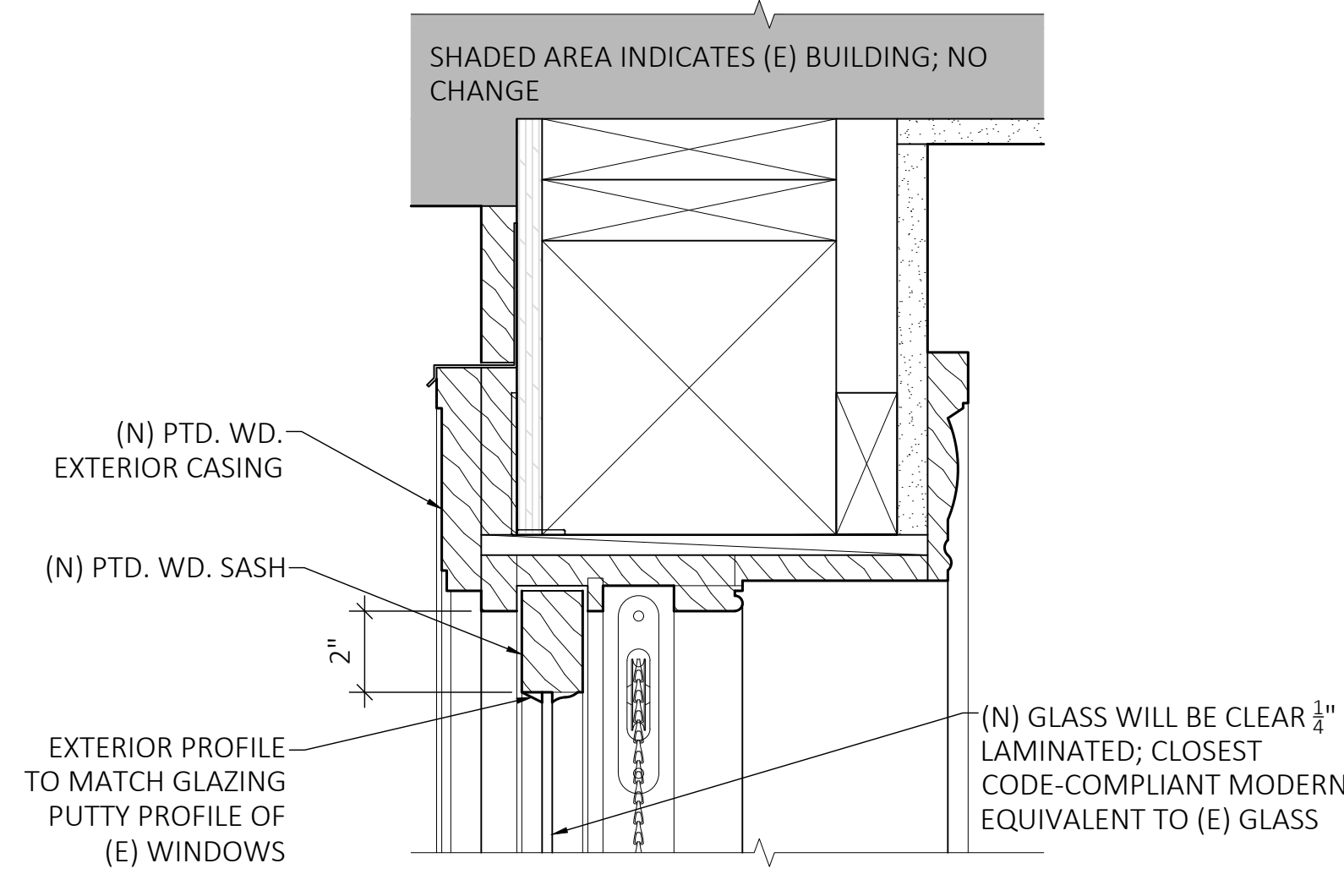
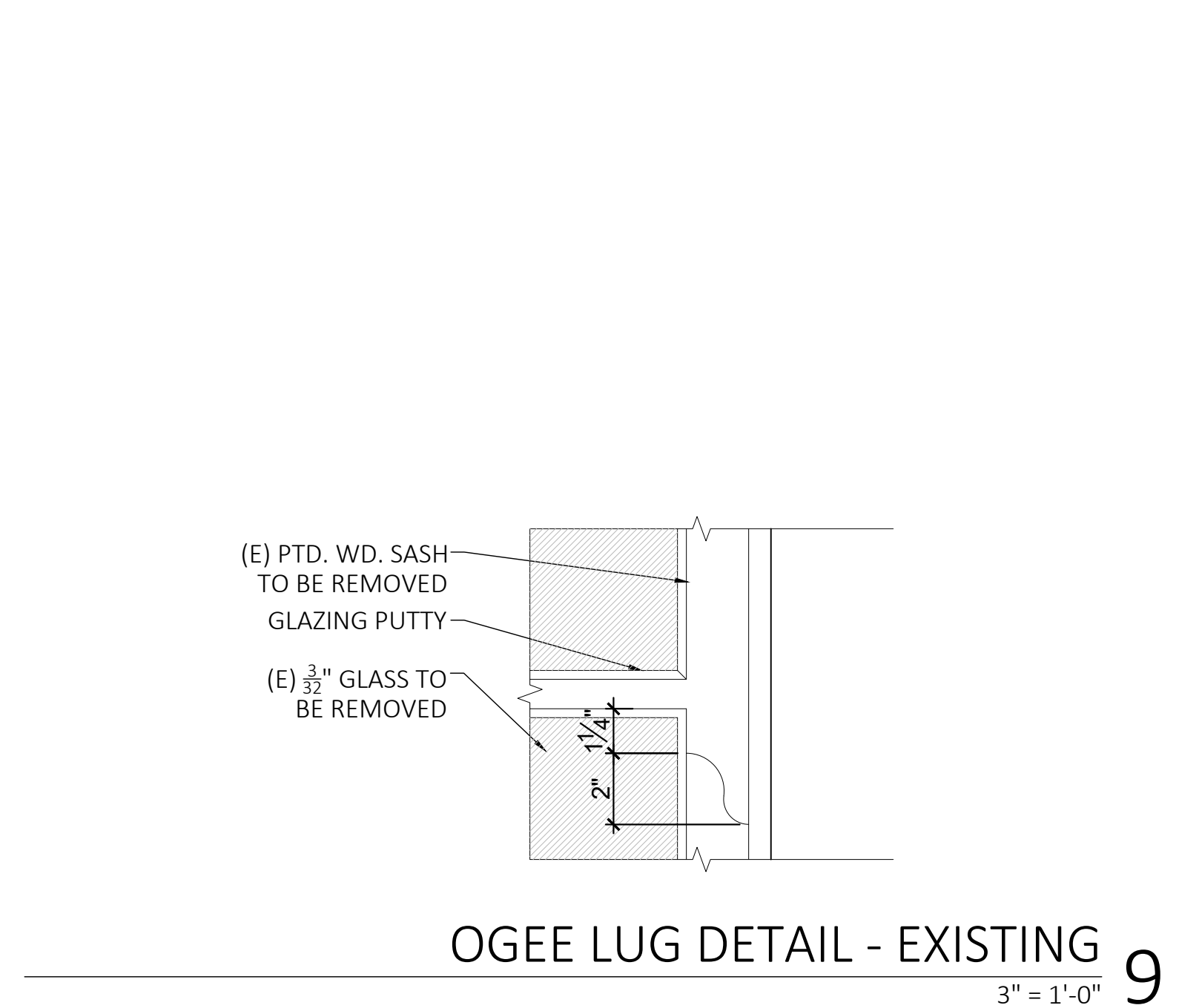
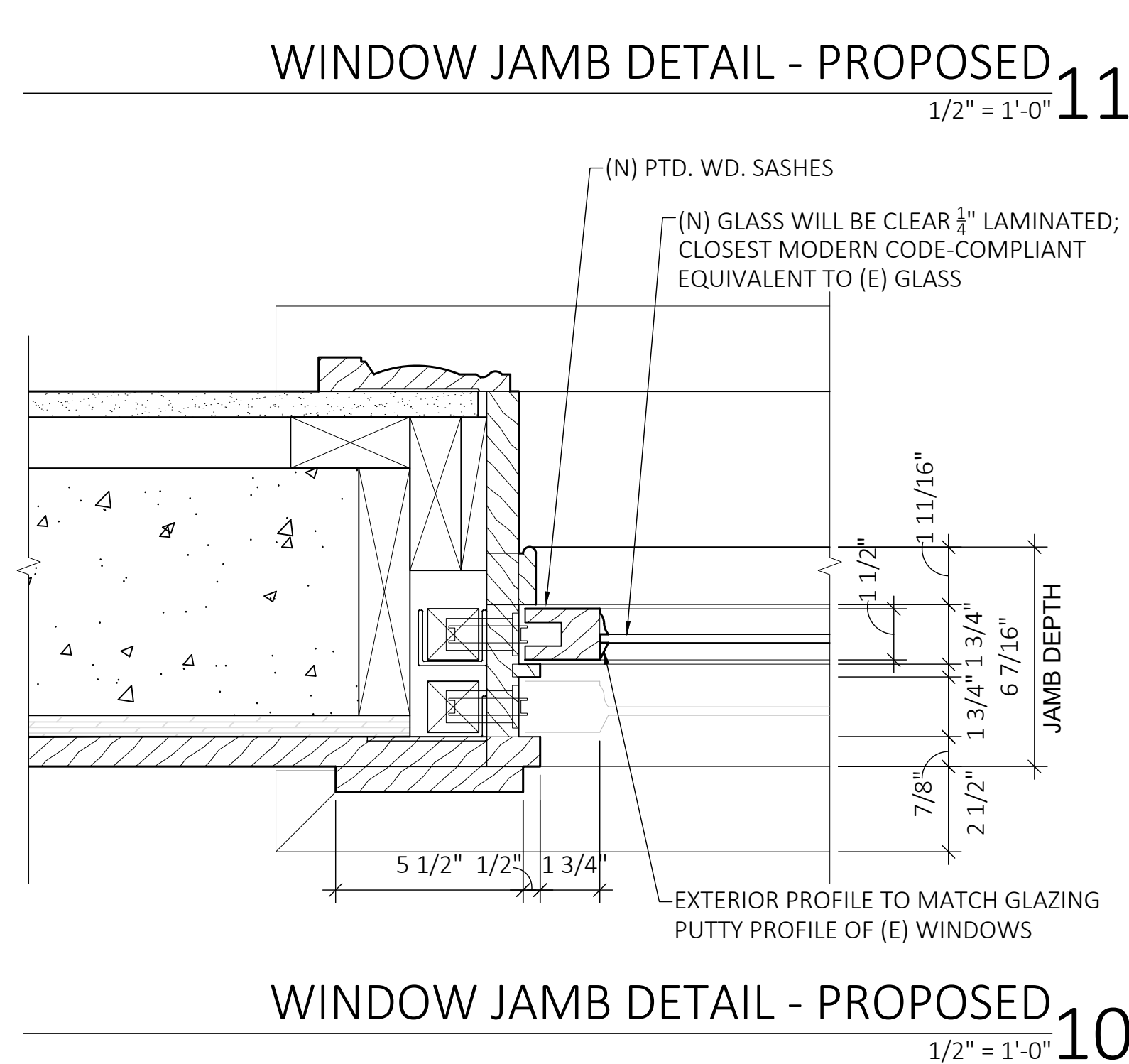
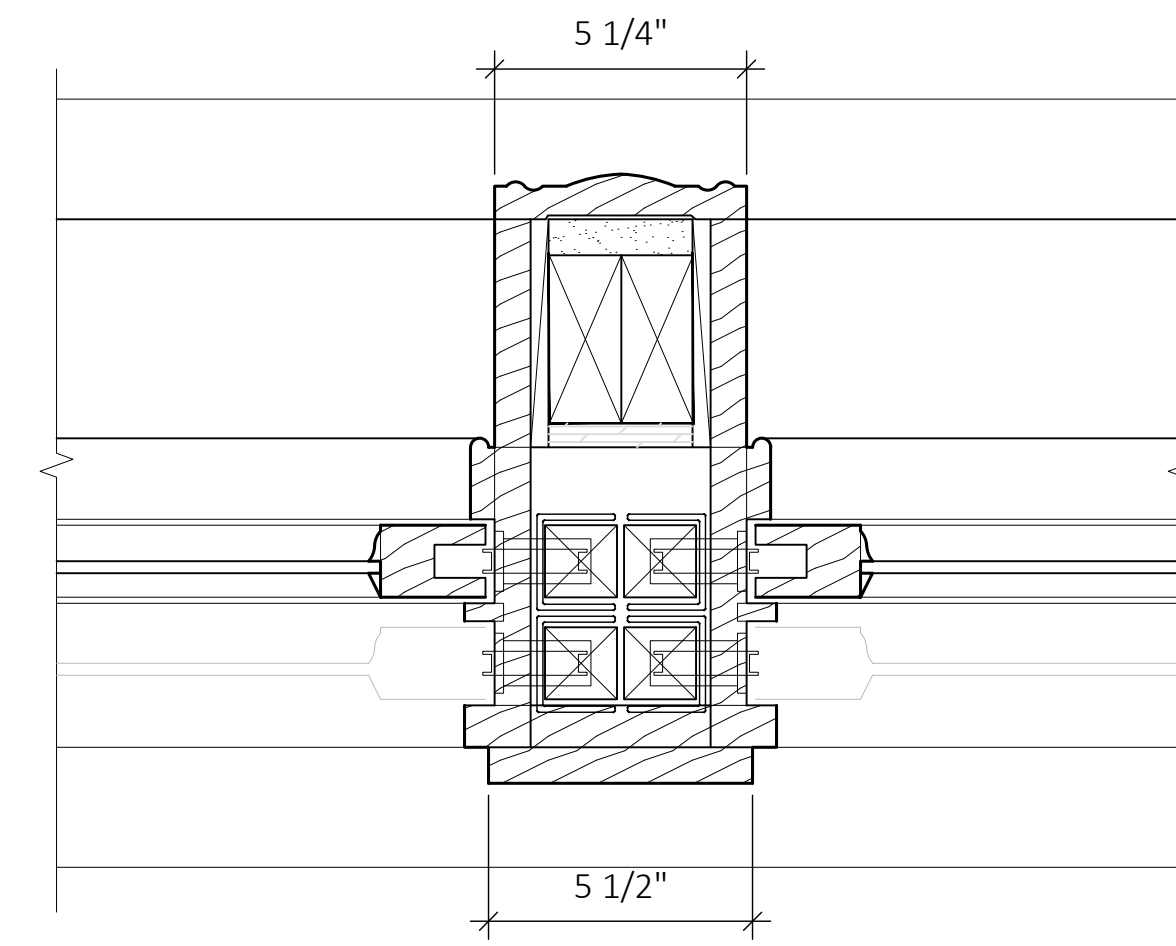
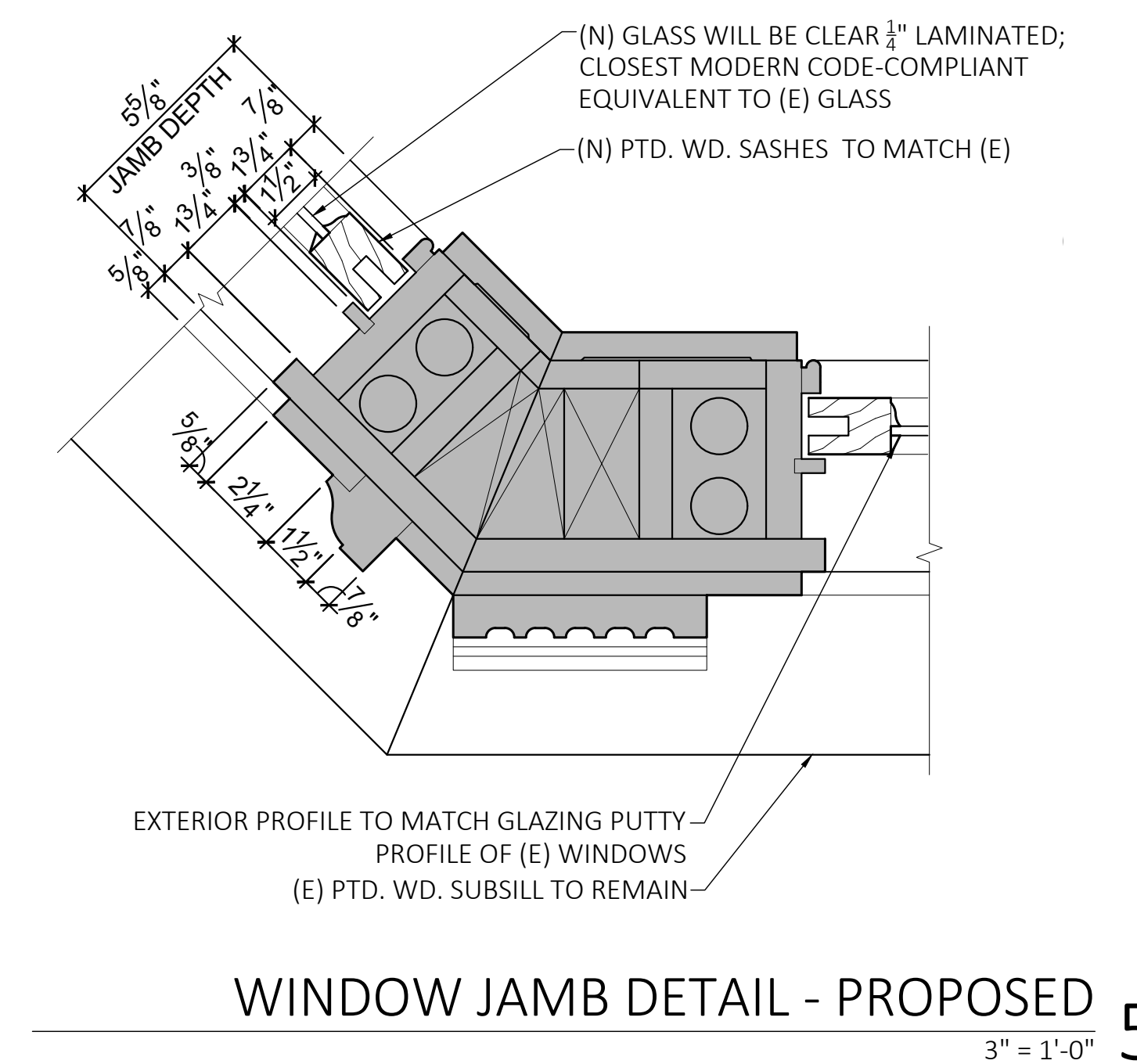
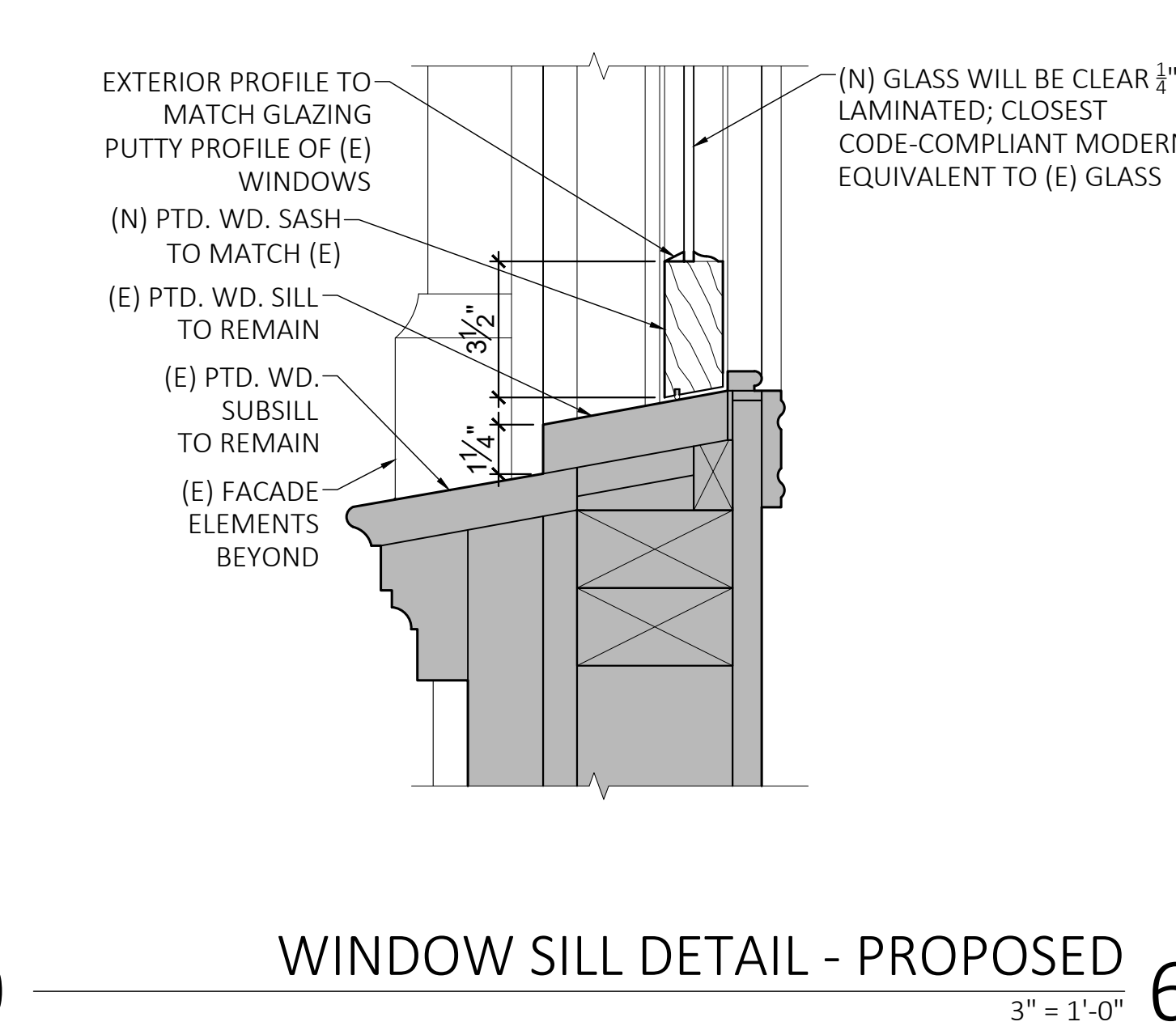
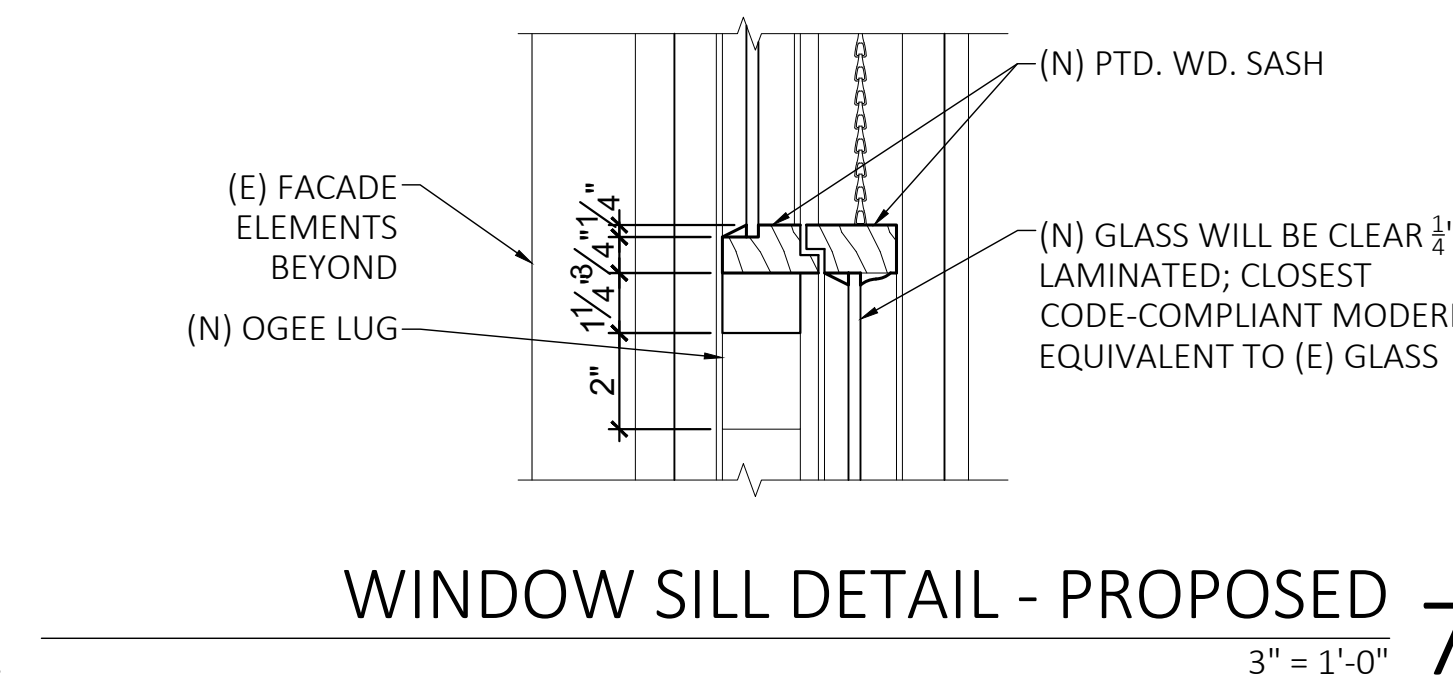
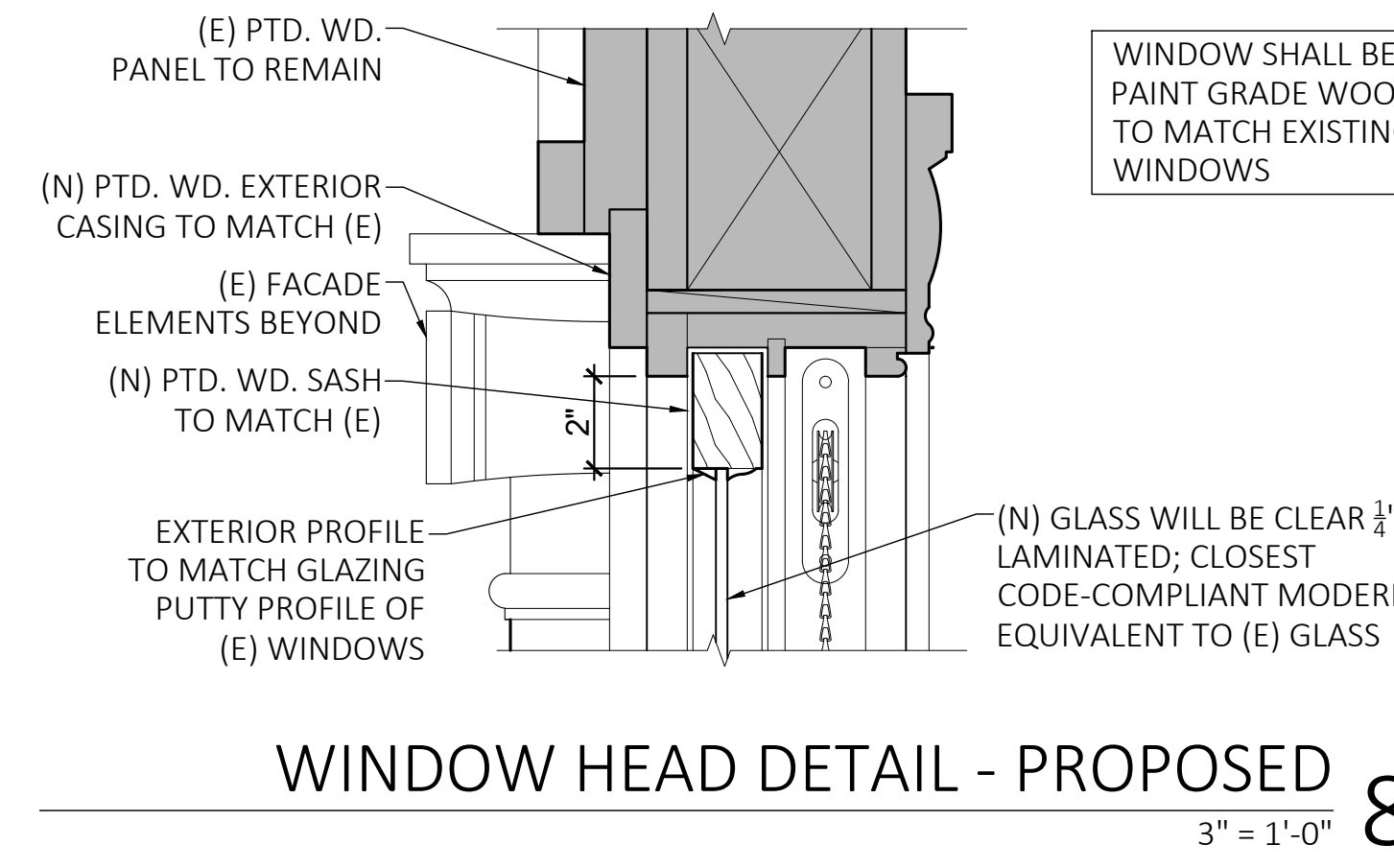
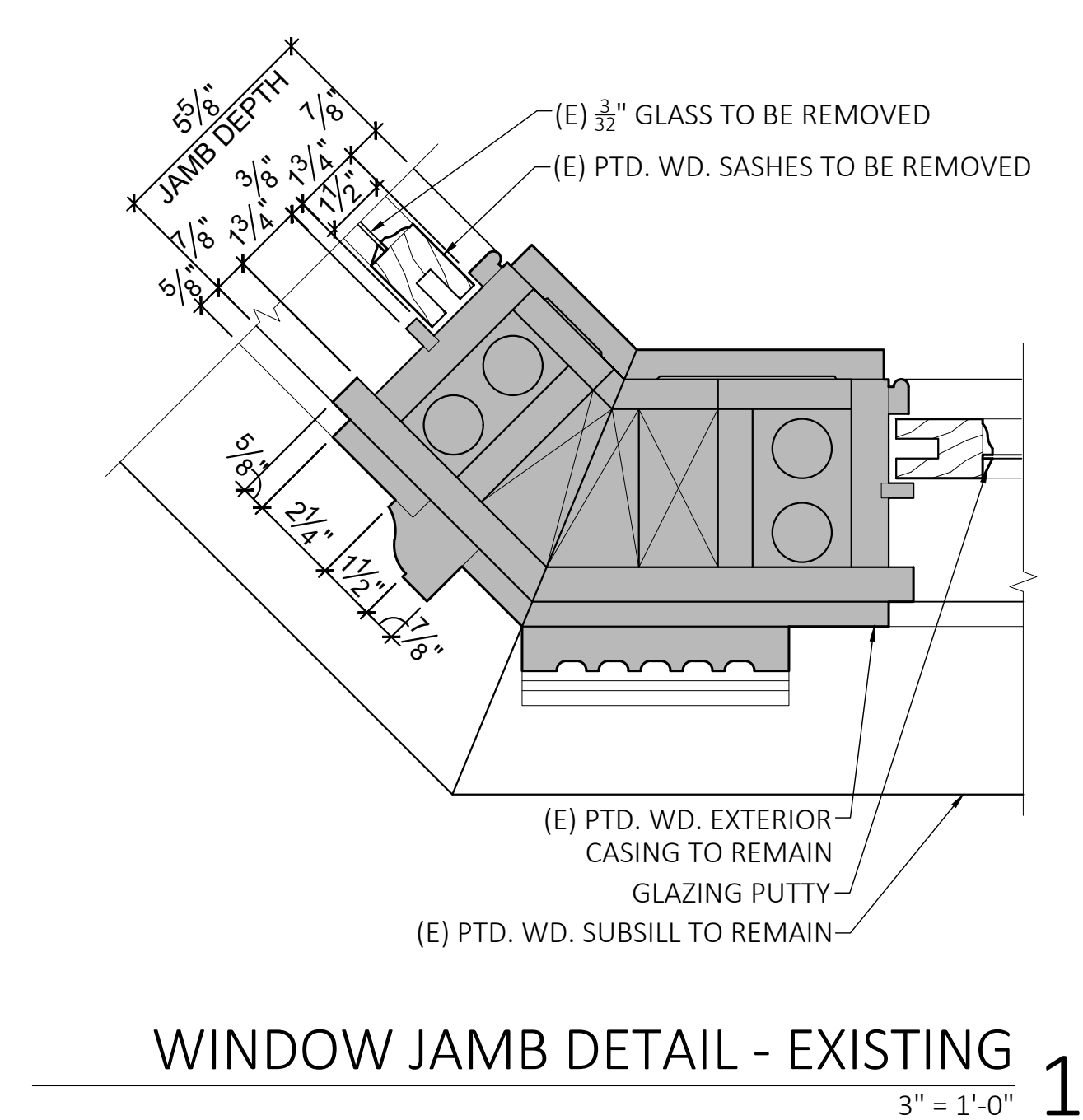
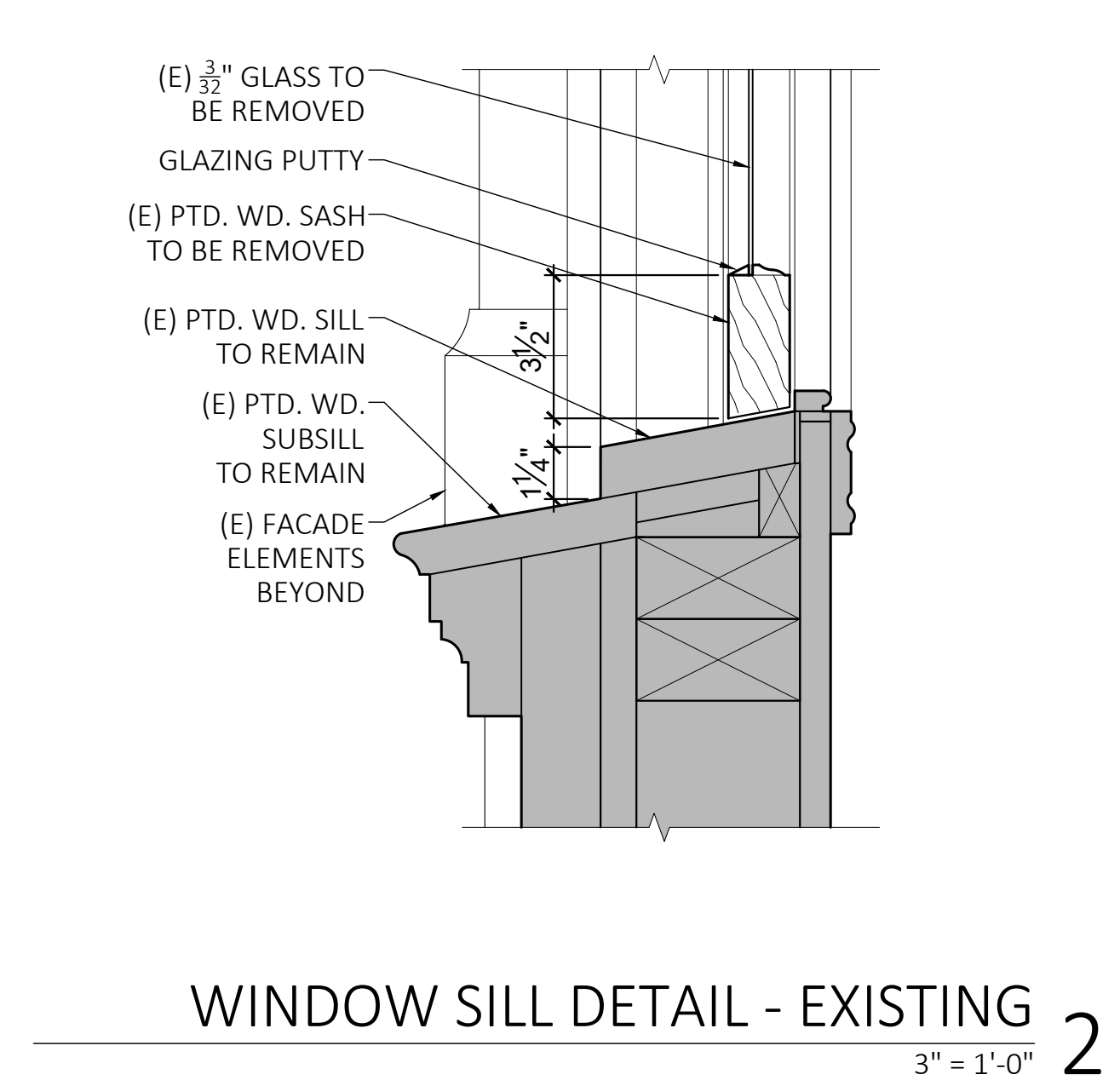
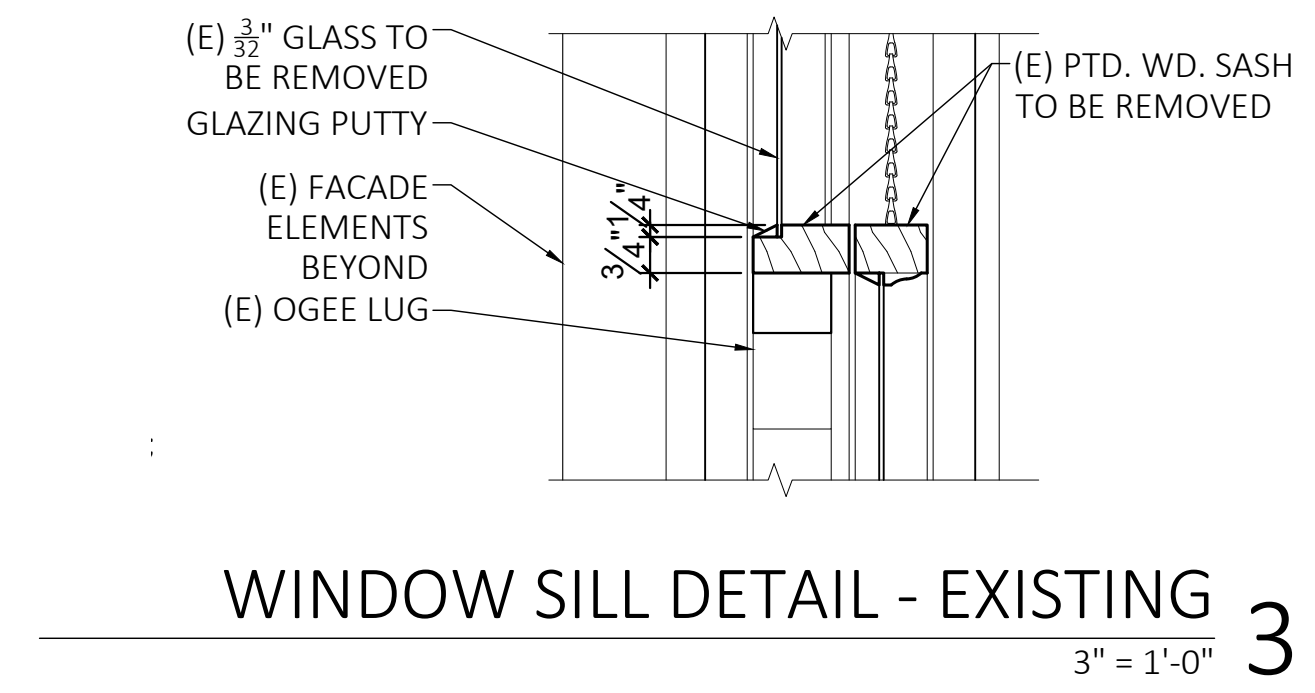
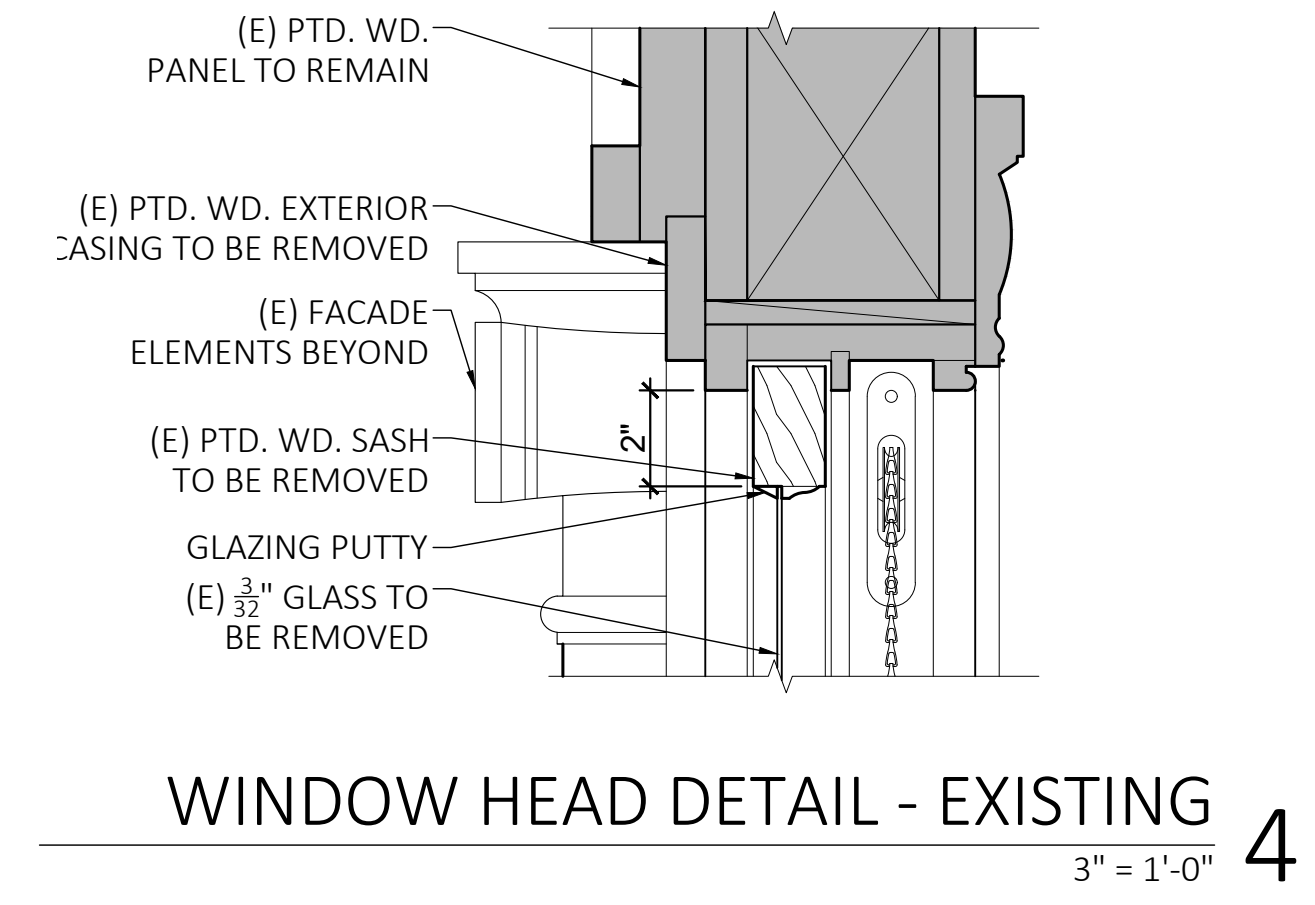
JOB # 2004

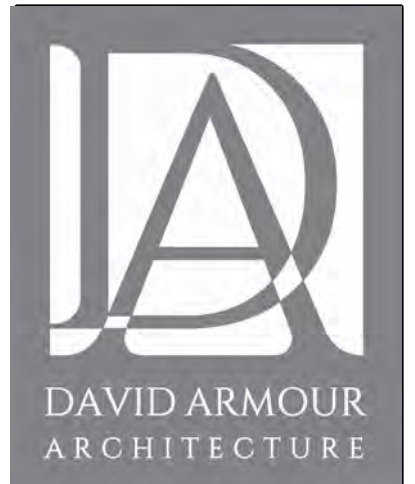
STAIR RAIL DETAILS

A8.3.5

SCALE: AS NOTED

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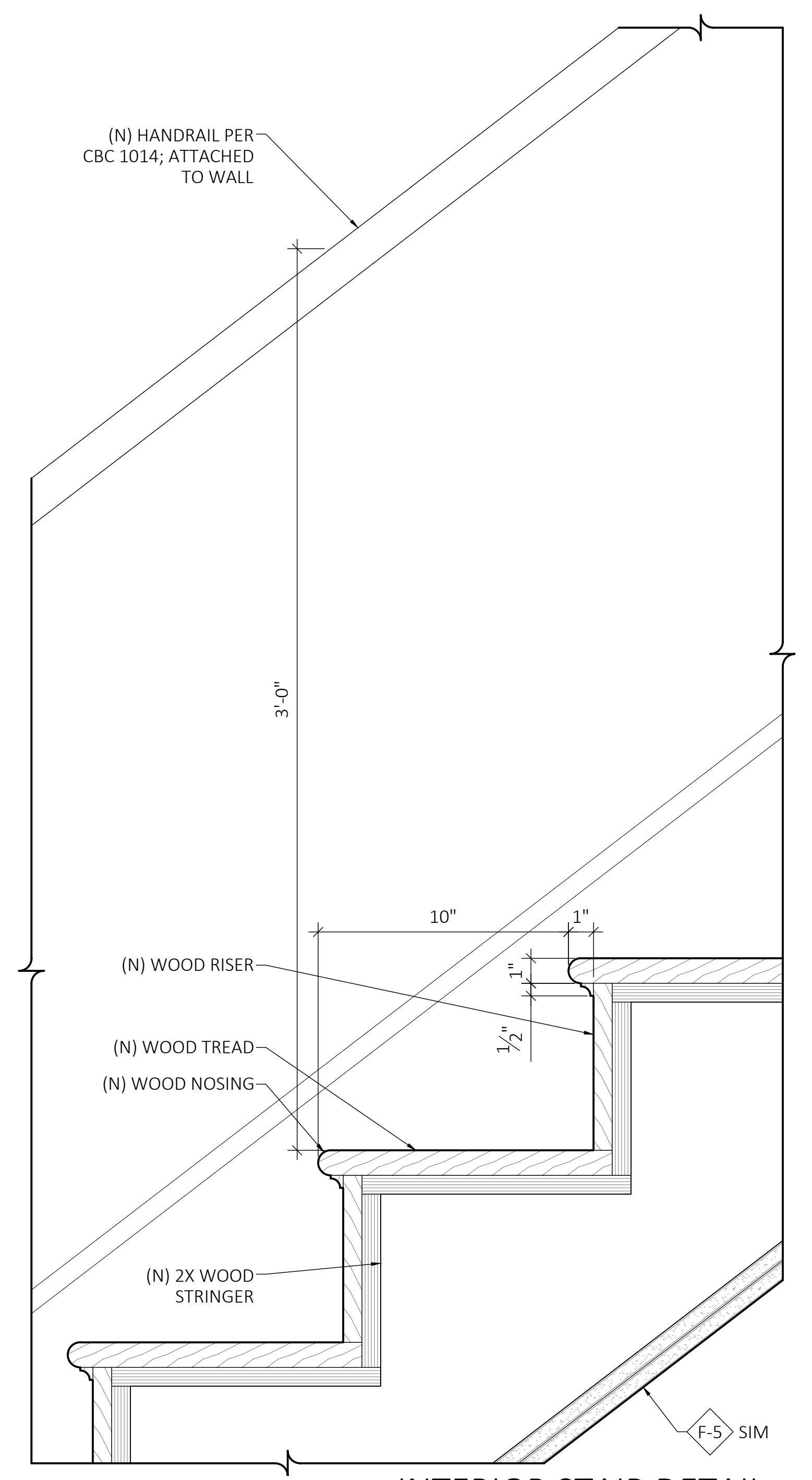




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INTERIOR STAIR DETAIL
3" = 1'-0"

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JOB # 2004

INTERIOR DETAILS -
STAIRS & CASEWORK

A9.2.1

SCALE: 3" = 1'-0"

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