

88 ARKANSAS

LARGE PROJECT AUTHORIZATION

PROJECT DESCRIPTION

PROPOSED USE IS FOR ONE FIVE-STORY MIXED USE BUILDING INCLUDING GROUND FLOOR RETAIL AND MULTI-FAMILY RESIDENTIAL UNITS. PROJECT INCLUDES A ONE-LEVEL SUBTERRANEAN RESIDENTIAL PARKING GARAGE.

VICINITY MAP



PROJECT TEAM

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CIVIL ENGINEER: KCA ENGINEERS INC.
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 SAN FRANCISCO, CA 94107
 T: 415.546.7111

SHEET INDEX

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88 ARKANSAS

SAN FRANCISCO, CA

COVER SHEET

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CLIFF
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ASSOCIATES

martinbuildingcompany

14057

01/08/16

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PROJECT WILL BE A PLANNED UNIT DEVELOPMENT PURSUANT TO SECTION 304 OF THE SAN FRANCISCO PLANNING CODE

PROPERTY SUMMARY

PARCEL# (BLOCK/LOT): 3953002 & 3953002A (3953/002 & 3953/002A)
 PARCEL AREA:
 3953002 19,998 SF (PER ASSESSOR'S REPORT)
 3953002A 10,000 SF (PER ASSESSOR'S REPORT)
 PROJECT LOT AREA: 29,998 SF
 NEIGHBORHOOD: POTRERO HILL
 ADDRESSES: 88 ARKANSAS STREET, SAN FRANCISCO, CA 94107
 1500 17TH STREET, SAN FRANCISCO, CA 94107
 1530 17TH STREET, SAN FRANCISCO, CA 94107

BUILDING STATISTICS

LEVEL	GSF*	STUDIO	1 BR	2BR	3BR	TOTAL
BASEMENT	2,853 SF	-	-	-	-	-
LEVEL 1	22,714 SF	3	6	7	3	19
LEVEL 2	20,275 SF	4	9	8	2	23
LEVEL 3	23,968 SF	6	12	10	1	29
LEVEL 4	23,968 SF	6	13	8	2	29
LEVEL 5	23,968 SF	6	11	8	2	27
ROOF	938 SF	-	-	-	-	-
TOTAL	118,684 SF	25	51	41	10	127
UNIT MIX %		20%	40%	32%	8%	100%

TOTAL RESIDENTIAL GSF*: 111,694 GSF *DOES NOT INCLUDE BASEMENT, RETAIL OR ROOF AREA
 TOTAL RETAIL/CAFE GSF**: 3,118 GSF **AREA PER SECTION 102, FLOOR AREA GROSS (b)(1) & (6) & (8).

TOTAL PARKING

BASEMENT LEVEL

STANDARD & COMPACT SPACES: 13 SPACES
 ACCESSIBLE SPACES: 2 SPACES
 STACKER SPACES: 82 SPACES
 CAR-SHARE SPACES: 1 CAR-SHARE SPACE
 GRAND TOTAL: 98 SPACES (5 FOR 2-BED @ 1/DU + 122 DU @ 0.75/DU + 1 CAR-SHARE)

BICYCLE SPACES:

CLASS-1 127 RESIDENTIAL SPACES PROVIDED (REQUIRED: 1 SPACE FOR EVERY UNIT UP TO 100, THEN 1 FOR EVERY 4 UNITS = 107)
 1 SPACE CAFE PROVIDED (REQUIRED = CAFE: 1 SPACE FOR EVERY 7,500 SQUARE FEET: 2,916 SF / 7,500 SF = 0.38 [ROUND UP TO 1])
 CLASS-2 6 RESIDENTIAL SPACES PROVIDED (REQUIRED = 127 DU / 20 SPACES per DU = 6.35 [ROUND DOWN TO 6])
 6 CAFE SPACES PROVIDED (REQUIRED = 2,916 SF / 750 SF per BIKE = 3.89 [ROUND UP TO 4])

UNIT AVERAGE SIZES (NET)

STUDIO 435 NSF
 1-BEDROOM 600 NSF
 2-BEDROOM 866 NSF

OPEN SPACE STATISTICS (CONTRIBUTING AREA):

	COMMON	PRIVATE
SOUTH COURTYARD (AT PODIUM):	3,514 SF	-
NORTH COURTYARD (AT PODIUM):	-	240 SF
PATIO/BACLONIES ALONG ARKANSAS:	-	429 SF
SOLARIUM:	1,236SF	-
ARTIFICIAL TURF AREA:	1,520 SF	-
ROOF DECK:	3,260 SF	-
TOTAL	9,530 SF	669 SF = 10,199SF

80.3 SF OF OPEN SPACE PROVIDE PER UNIT (80 SF PER UNIT REQUIRED)

REAR YARD:

SOUTH COURTYARD: 3,514 SF
 NORTH COURTYARD: 1,905 SF
 ALONG ARKANSAS: 867 SF
 TOTAL: 6,286 SF
 AT GRADE AREAS: 6,286 / 29,998 = 21.0% REAR YARD
 INCLUDING ROOF DECKS: 11,066 / 29,998 = 36.9% REAR YARD

88 ARKANSAS

SAN FRANCISCO, CA

PLANNING DEPARTMENT ZONING SUMMARY

ZONING DISTRICT:	SEC.843	UMU - URBAN MIXED USE
HEIGHT & BULK DISTRICT:	SEC.843	48-X
REAR YARD	SEC.134.1	25% LOT DEPTH, BUT IN NO CASE LESS THAN 15 FEET
STREET FRONTAGE:	SEC.145.1	REQUIRED
STREET FRONTAGE - ABOVE GRADE PARKING	SEC.145.1.c.1	MINIMUM 25 FEET SETBACK ON GROUND FLOOR, 15 FEET ON FLOORS ABOVE
STREET FRONTAGE - PARKING AND LOADING ACCESS RESTRICTIONS	SEC.145.1.c.2	PORTIONS ON ARKANSAS STREET
STREET FRONTAGE - ACTIVE USES REQUIRED	SEC.145.1.c.3	REQUIREMENTS APPLY
STREET FRONTAGE - GROUND FLOOR CEILING HEIGHT	SEC.145.1.c.4A	MINIMUM FLOOR-TO-FLOOR HEIGHT OF 17 FEET AT NON-RESIDENTIAL
FLOOR AREA RATIO:	SEC.124.	3.0 TO 1 (RESIDENTIAL SF EXEMPT)
NON-RESIDENTIAL USE SIZE:	SEC.843.45-843.51	VARIES: RETAIL SALES PERMITTED UP TO 25,000 SF PER LOT; ABOVE 25,000 SF PERMITTED ONLY IF THE RATIO OF OTHER PERMITTED USES TO RETAIL IS AT LEAST 3:1
COMMERCIAL OFF-STREET PARKING:	SEC.843.11	NONE REQUIRED. LIMITS SET FORTH IN SEC.151.1
OFF-STREET FREIGHT LOADING:	SEC.152.	1 REQUIRED, RESIDENTIAL AREA IS GREATER THAN 100,000 SF
RESIDENTIAL DENSITY	SEC.843.24	NO DENSITY LIMIT
RESIDENTIAL UNIT MIX	SEC.207.6	40% OF ALL DWELLING UNITS MUST CONTAIN TWO OR MORE BEDROOMS
RESIDENTIAL OPEN SPACE:	SEC.843.11	80 SQ. FT. PER UNIT IF PRIVATE, 54 SQ. FT. IF PUBLICLY ACCESSIBLE
RESIDENTIAL PARKING:	SEC.843.08	NONE REQUIRED. LIMITS SET FORTH IN SEC.151.1 - FOR DWELLING UNITS AT LEAST 1,000 SQ. FT. IN SIZE WITH TWO OR MORE BEDROOMS, 1 CAR IS PERMITTED FOR EACH UNIT. FOR OTHER UNITS, UP TO 0.75 CARS FOR EACH UNIT IS PERMITTED.
CAR-SHARE PARKING:	SEC.166.d.1	1 CAR-SHARE SPACE REQUIRED
BICYCLE PARKING	SEC.155.2	ONE CLASS 1 SPACE FOR EACH UNIT UP TO 100 SPACES, AND ONE ADDITIONAL SPACE FOR EVERY FOUR UNITS OVER 100 UNITS. ONE CLASS 2 SPACE FOR EACH 20 UNITS.
HORIZONTAL MASS REDUCTION	SEC.270.1	IF FRONTAGE GREATER THAN 200 FEET

HISTORIC PRESERVATION EVALUATION SUMMARY

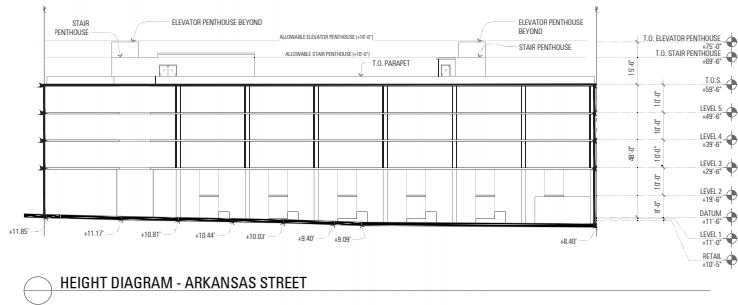
SHOWPLACE SQUARE/NORTHEAST MISSION HISTORIC RESOURCE SURVEY STATUS:

88 ARKANSAS STREET
 PARCEL 3953002
 CEQA CATEGORY: C - NOT A HISTORIC RESOURCE
 EVALUATION DATE: 8/17/2011
 SURVEY RATING: 6Z
 RATING DESCRIPTION: FOUND INELIGIBLE FOR NR, CR, OR LOCAL DESIGNATION THROUGH SURVEY EVALUATION

1530 17TH STREET
 PARCEL 3953002A
 CEQA CATEGORY: C - NOT A HISTORIC RESOURCE
 EVALUATION DATE: 8/17/2011
 SURVEY RATING: 6Z
 RATING DESCRIPTION: FOUND INELIGIBLE FOR NR, CR, OR LOCAL DESIGNATION THROUGH SURVEY EVALUATION

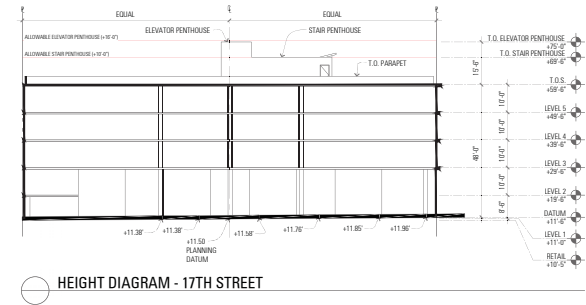
SUSTAINABILITY

THIS PROJECT WILL PURSUE LEED FOR HOMES PLATINUM.



BUILDING HEIGHT DIAGRAMS

- Height & Bulk District: 48-X
- Building height complies with section 260 requirements.
- Per 260(b)(1)(B), Elevator, stair and mechanical penthouses shall be limited to the top 10 feet of such features where the height limit is 65 feet or less. However, for elevator penthouses, the exemption shall be limited to the top 16 feet and limited to the footprint of the elevator shaft, regardless of the height limit of the building.
- Height measured from curb on 17th Street (datum 11'-6") per section 102.12(a)(b)(d).



88 ARKANSAS

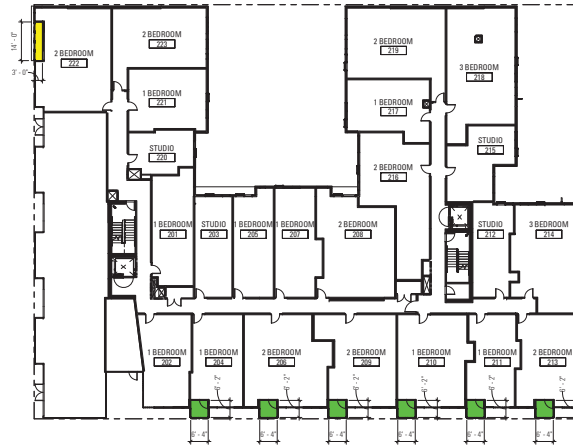
SAN FRANCISCO, CA

PLANNING CODE DIAGRAMS

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1 OPEN SPACE PLAN - LEVEL 1



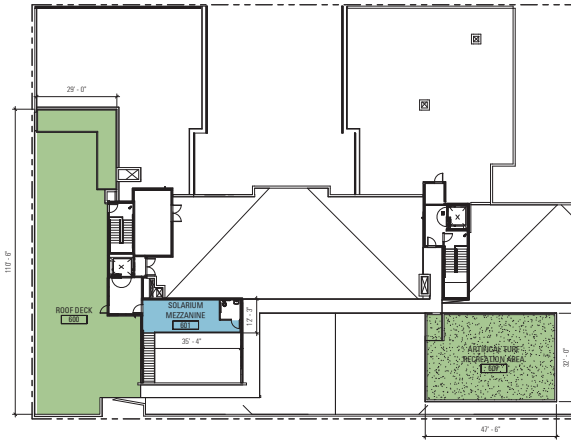
2 OPEN SPACE PLAN - LEVEL 2

- OPEN SPACE LEGEND
- OS-PRIVATE-CONTRIBUTE
 - OS-PUBLIC-CONTRIBUTE
 - OS-PRIVATE-NON-CONTRIBUTING
 - OS-PUBLIC-NON-CONTRIBUTING





1 OPEN SPACE PLAN - LEVEL 5



2 OPEN SPACE PLAN - ROOF DECK

OPEN SPACE - CONTRIBUTING

PRIVATE USABLE			COMMON USABLE		
UNIT NUMBER	OS TYPE	AREA	UNIT NUMBER	OS TYPE	AREA
LOWER LEVEL 1					
102	PRIVATE STOOP	39 SF			
104	PRIVATE STOOP	39 SF			
107	PRIVATE STOOP	39 SF			
108	PRIVATE STOOP	39 SF			
110	PRIVATE STOOP	39 SF			
111	PRIVATE PATIO	80 SF			
112	PRIVATE PATIO	80 SF			
115	PRIVATE PATIO	80 SF			
LEVEL 2					
204	PRIVATE DECK	39 SF			
206	PRIVATE DECK	39 SF			
209	PRIVATE DECK	39 SF			
210	PRIVATE DECK	39 SF			
211	PRIVATE DECK	39 SF			
213	PRIVATE DECK	39 SF			
		669 SF			
LEVEL 5					
528	SOLARIUM	1,236 SF			
ROOF DECK					
600	ROOF DECK	3,260 SF			
607	ARTIFICIAL TURF	1,520 SF			
		9,530 SF			

OPEN SPACE - NON-CONTRIBUTING

PRIVATE USABLE			COMMON USABLE		
UNIT NUMBER	OS TYPE	AREA	UNIT NUMBER	OS TYPE	AREA
LOWER LEVEL 1					
102	PRIVATE STOOP	11 SF			
104	PRIVATE STOOP	11 SF			
107	PRIVATE STOOP	11 SF			
108	PRIVATE STOOP	11 SF			
110	PRIVATE STOOP	11 SF			
111	PRIVATE PATIO	20 SF			
112	PRIVATE PATIO	16 SF			
115	PRIVATE PATIO	105 SF			
LEVEL 2					
222	PRIVATE DECK	42 SF			
LEVEL 3					
302	PRIVATE DECK	42 SF			
303	PRIVATE DECK	42 SF			
305	PRIVATE DECK	33 SF			
307	PRIVATE DECK	36 SF			
309	PRIVATE DECK	36 SF			
312	PRIVATE DECK	36 SF			
314	PRIVATE DECK	36 SF			
316	PRIVATE DECK	36 SF			
318	PRIVATE DECK	37 SF			
324	PRIVATE DECK	42 SF			
326	PRIVATE DECK	42 SF			
328	PRIVATE DECK	42 SF			
LEVEL 4					
402	PRIVATE DECK	42 SF			
403	PRIVATE DECK	42 SF			
405	PRIVATE DECK	33 SF			
407	PRIVATE DECK	36 SF			
409	PRIVATE DECK	36 SF			
412	PRIVATE DECK	36 SF			
414	PRIVATE DECK	36 SF			
416	PRIVATE DECK	36 SF			
418	PRIVATE DECK	37 SF			
424	PRIVATE DECK	42 SF			
426	PRIVATE DECK	42 SF			
428	PRIVATE DECK	42 SF			
LEVEL 5					
502	PRIVATE DECK	42 SF			
503	PRIVATE DECK	42 SF			
507	PRIVATE DECK	36 SF			
510	PRIVATE DECK	36 SF			
512	PRIVATE DECK	36 SF			
513	PRIVATE DECK	36 SF			
514	PRIVATE DECK	37 SF			
522	PRIVATE DECK	42 SF			
524	PRIVATE DECK	42 SF			
526	PRIVATE DECK	42 SF			
528	PRIVATE DECK	33 SF			
528	PRIVATE DECK	36 SF			
		1,617 SF			
LOWER LEVEL 1					
ROOF DECK					
601	SOLARIUM MEZZANINE	373 SF			
					1,876 SF

OPEN SPACE (Section 135 & 043.11)

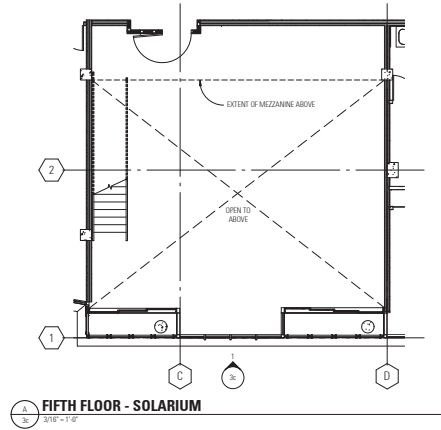
Code Required:

80 SF/DU if private (Min. 10'x10' at grade/podium, 6'x6' as balconies)

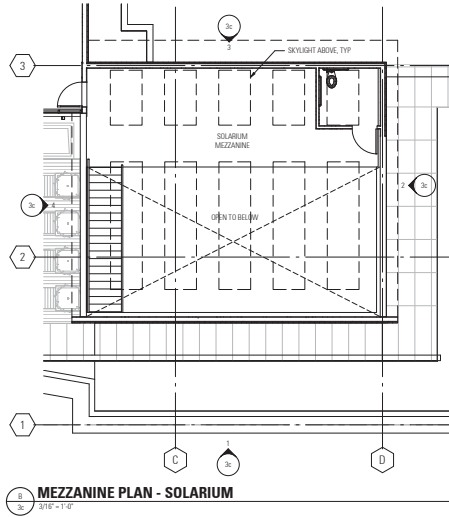
Minimum Open Space Required: 127 DU x 80 SF/DU = 10,160

	Contributing	Non-Contributing
Private Usable Open Space Provided:	669 SF	1,617 SF
Common Usable Open Space Provided:	9,530 SF	1,876 SF
	10,199 SF	3,493 SF

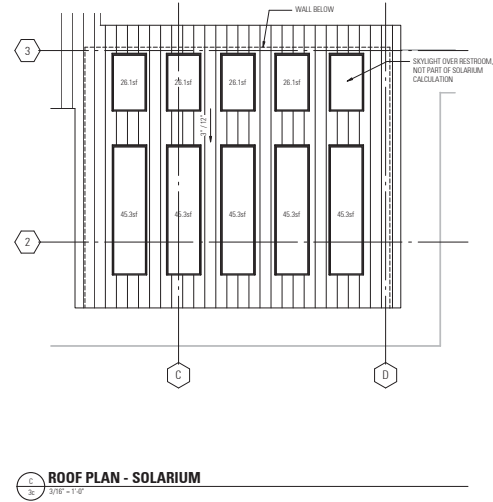
Grand Total: 13,692 SF



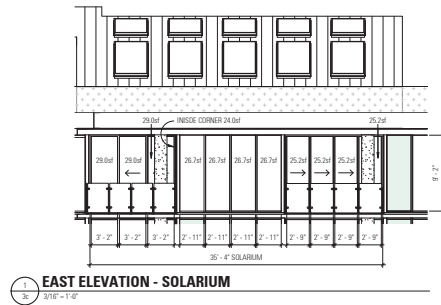
FIFTH FLOOR - SOLARIUM
3/16" = 1'-0"



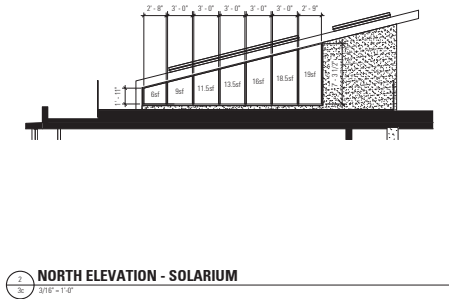
MEZZANINE PLAN - SOLARIUM
3/16" = 1'-0"



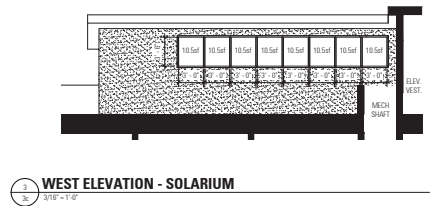
ROOF PLAN - SOLARIUM
3/16" = 1'-0"



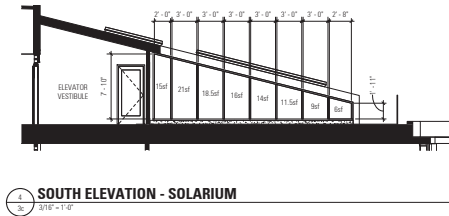
EAST ELEVATION - SOLARIUM
3/16" = 1'-0"



NORTH ELEVATION - SOLARIUM
3/16" = 1'-0"



WEST ELEVATION - SOLARIUM
3/16" = 1'-0"



SOUTH ELEVATION - SOLARIUM
3/16" = 1'-0"

SOLARIUM CALCULATIONS

PERIMETER AREA
 EAST ELEVATION GLAZING: 342.6 SF
 NORTH ELEVATION GLAZING: 93.5 SF
 WEST ELEVATION GLAZING: 84SF
 SOUTH ELEVATION GLAZING: 111 SF

TOTAL GLAZING AREA: 631.1 SF
 TOTAL INTERIOR WALL AREA: 2,064 SF

TOTAL GLAZING REQUIRED: 30%
 TOTAL GLAZING PROVIDED: 631.1 SF / 2,064 SF = 30.6%

ROOF AREA

TOTAL GLAZING AREA: 330.9 SF
 TOTAL ROOF AREA: 1,092 SF

TOTAL GLAZING REQUIRED: 30%
 TOTAL GLAZING PROVIDED: 330.9 SF / 1,092 SF = 30.3%



REAR YARD - LEVEL 1

MODIFICATION REQUEST: REAR YARD (Section 134)

Required

Per Section 134(a)(1) UMU Districts are required to provide a rear yard depth of 25% total lot depth, but no less than 15 feet. 25% of lot depth = 50'-0"

Provided

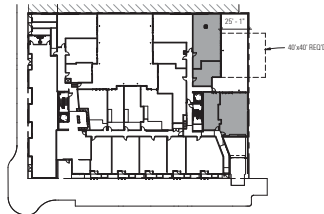
A Rear Yard area of 6,286SF is provided, which is 21.0% of the site area.

Justification

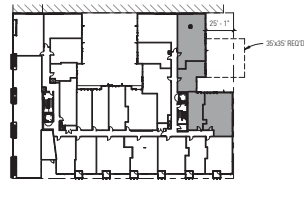
The rear yard requirement in Eastern Neighborhoods Mixed Use Districts may be modified or waived by the Planning Commission pursuant to Section 329. Per Section 134(f)(1). The project proposes providing a comparable amount of open space elsewhere in the project while providing an excess of 3,493 SF of Open Space beyond the required amount.

MODIFICATION REQUEST: Section 207.6 Exception to ZA Interpretation of Bedrooms with Shared Light

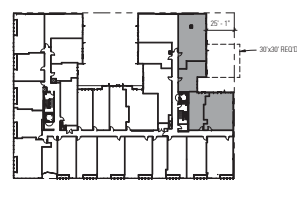
- There are a total of 38 two-bedroom and 10-three bedroom units in which at least one bedroom does not have an exterior window. The ZAs interpretation will be recinded in early 2016. See sheets 15-18 for affected unit locations, marked with an asterisk *.



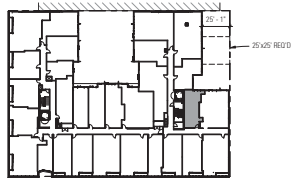
EXPOSURE PLAN - LEVEL 1



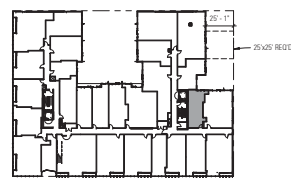
EXPOSURE PLAN - LEVEL 2



EXPOSURE PLAN - LEVEL 3



EXPOSURE PLAN - LEVEL 4



EXPOSURE PLAN - LEVEL 5

MODIFICATION REQUEST: UNIT EXPOSURE (Section 140)

Required

Section 140(a) all units to face an open space. At least one room that meets the 120sf min. floor area shall face directly on an open area per the requirements of 140(a)(1) or (2). The open area shall be 25 feet in every horizontal direction at the level at which the dwelling unit is located and the floor immediately above it, with an increase of five feet in every horizontal dimension at each subsequent floor.

Required Exposure Depth

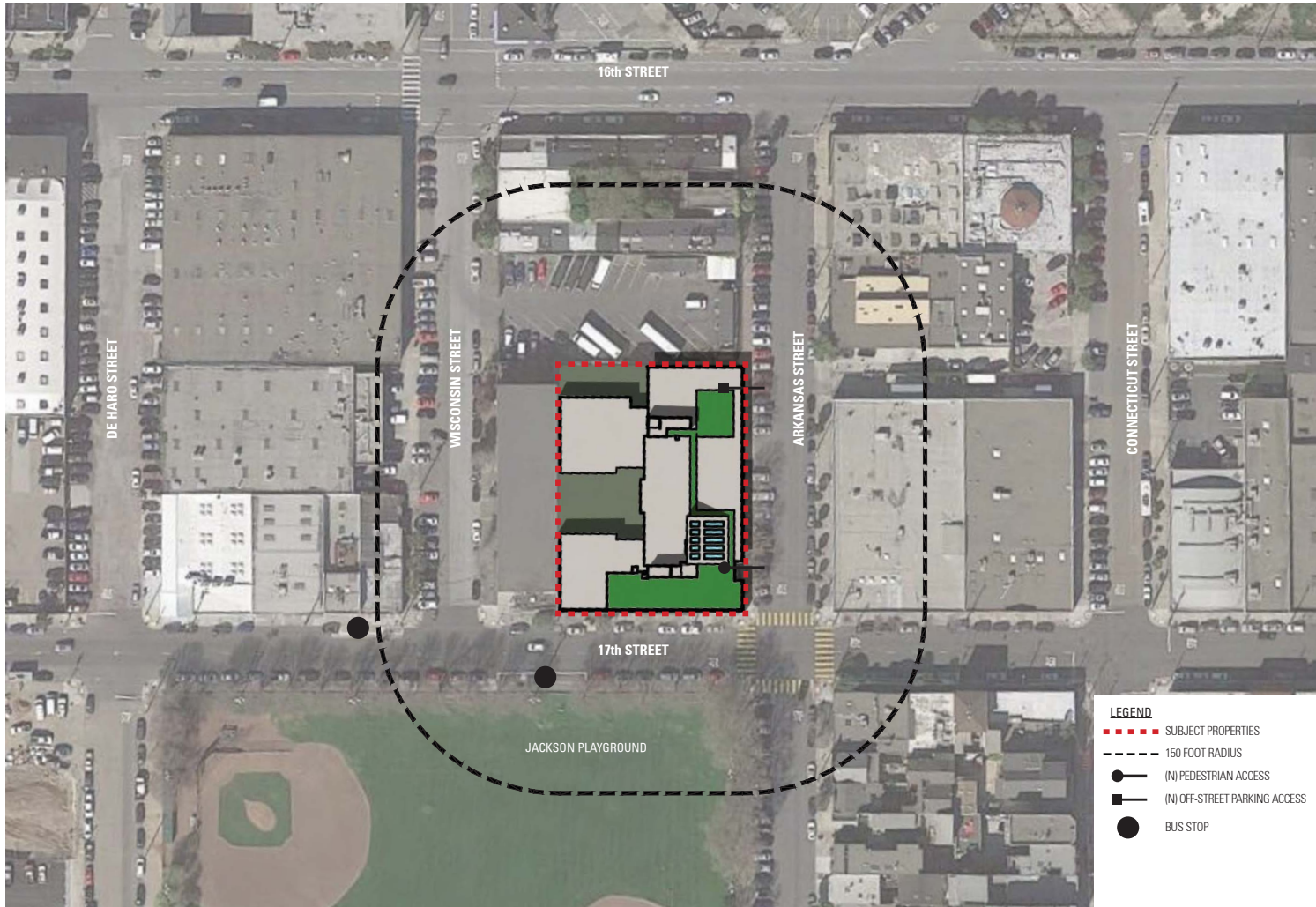
- Level 1: 40-ft x 40-ft
- Level 2: 35-ft x 35-ft
- Level 3: 30-ft x 30-ft
- Level 4: 25-ft x 25-ft
- Level 5: 25-ft x 25-ft

Provided

All units, except those shown graphically shaded on this sheet, meet the open space requirements by providing one room of at least 120sf floor area that faces a public way, rear yard, or an unobstructed open area greater than 25-ft in all horizontal directions at the floor at which the dwelling unit is located and the floor immediately above. Fourteen (14) units in total are requesting a modification.

Justification

The corner lot configuration creates a building geometry where inside corner units require a modification. However the intent of Section 140 is met since the units have view out to the open area from a room greater than 120sf.



- LEGEND**
- SUBJECT PROPERTIES
 - 150 FOOT RADIUS
 - (N) PEDESTRIAN ACCESS
 - (N) OFF-STREET PARKING ACCESS
 - BUS STOP

88 ARKANSAS

SAN FRANCISCO, CA

SITE PLAN

BARarchitects
 901 Battery Street, Suite 300 | San Francisco, CA 94111 | 415 293 5700 | www.bararch.com

CLIFF
 TOW
 ASSOCIATES

martinbuildingcompany



14057

01/08/16

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1. 17th and Arkansas Streets, looking north-west



2. 17th and Arkansas Streets, looking south-east



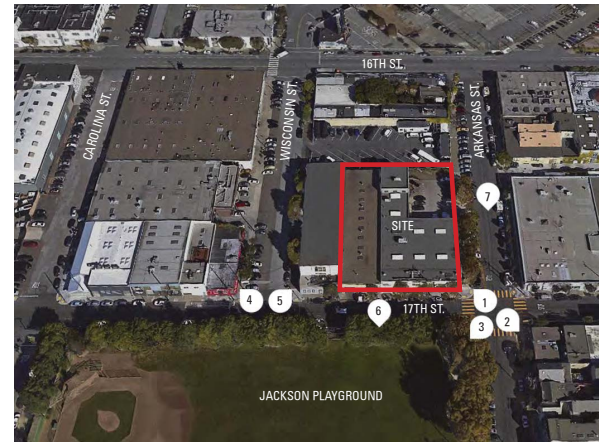
3. 17th and Arkansas Streets, looking south-west



4. 17th and Wisconsin Streets, looking north-west



5. 17th and Wisconsin Streets, looking north-east



Site Aerial & Context



6. 17th between Arkansas and Wisconsin Streets, looking south



7. Arkansas Street, looking south

88 ARKANSAS

SAN FRANCISCO, CA

CONTEXT PHOTOS

BARarchitects

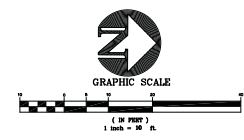
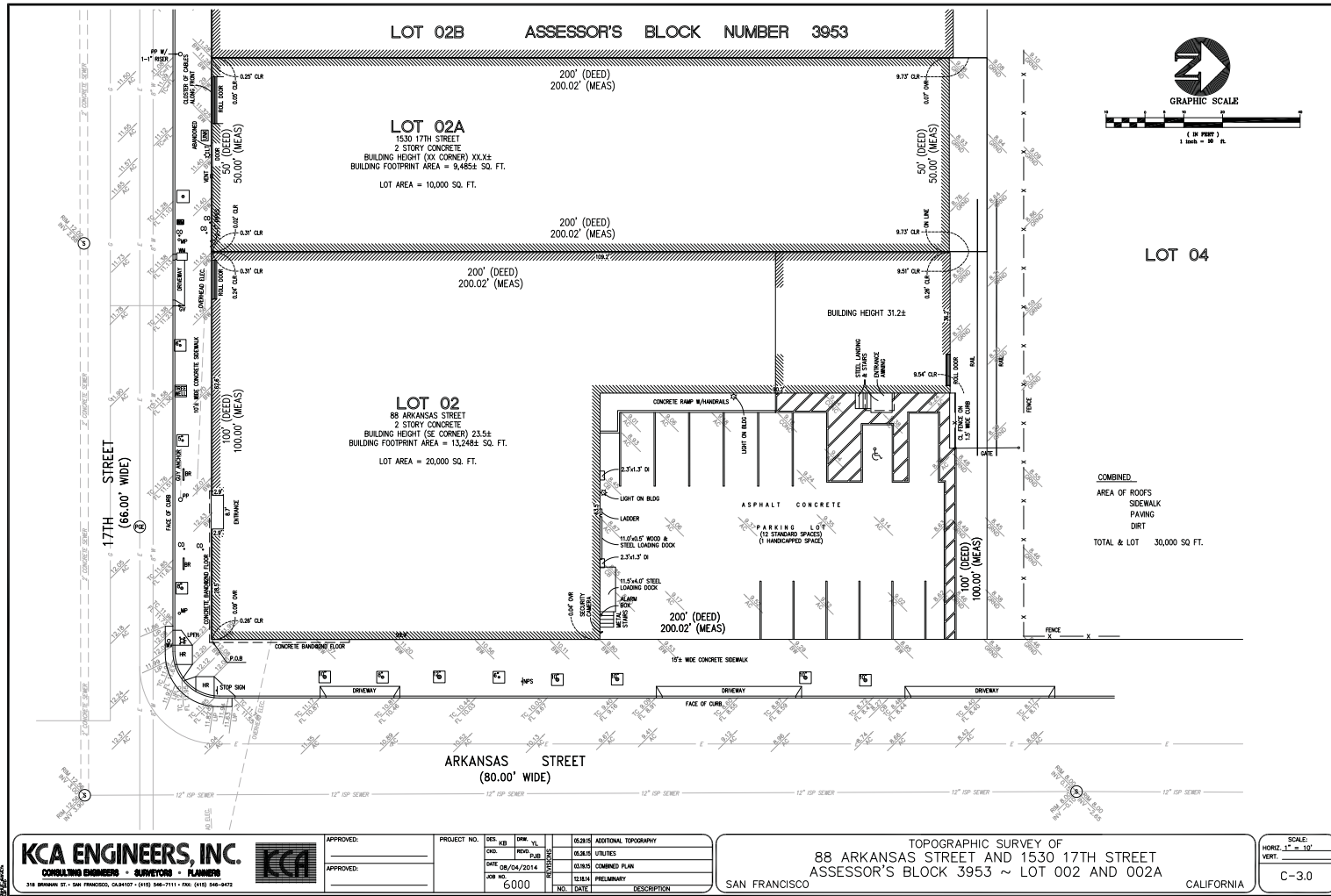
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CLIFF
LOWE
ASSOCIATES

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14057

01/08/16



COMBINED
 AREA OF ROOFS
 SIDEWALK
 PAVING
 DIRT
 TOTAL & LOT 30,000 SQ. FT.

KCA ENGINEERS, INC.
 CONSULTING ENGINEERS • SURVEYORS • PLANNERS
 318 BIRNBAUM ST. • SAN FRANCISCO, CALIFORNIA 94107 • (415) 546-7111 • FAX: (415) 546-9472



APPROVED: _____
 APPROVED: _____

PROJECT NO.	6000
DATE	08/04/2014
JOB NO.	6000
NO.	1
DATE	
DESCRIPTION	

TOPOGRAPHIC SURVEY OF
 88 ARKANSAS STREET AND 1530 17TH STREET
 ASSESSOR'S BLOCK 3953 ~ LOT 002 AND 002A
 SAN FRANCISCO CALIFORNIA

SCALE:
 HORIZ. 1" = 10'
 VERT. _____
 C-3.0

88 ARKANSAS

SAN FRANCISCO, CA

TOPOGRAPHIC SURVEY

BAR architects

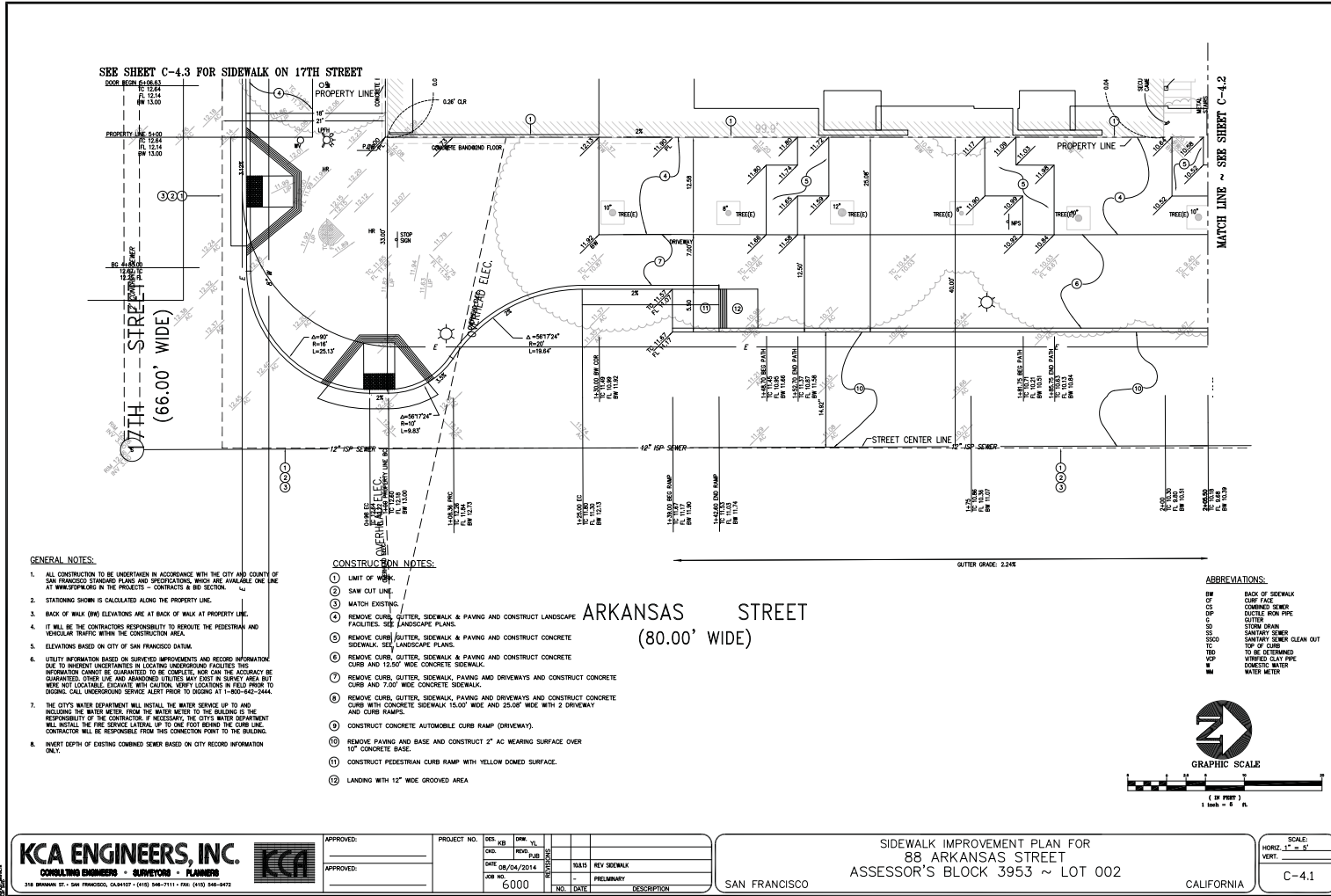
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 ASSOCIATES

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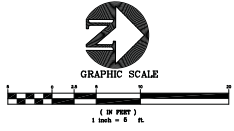
01/08/16



- GENERAL NOTES:**
1. ALL CONSTRUCTION TO BE UNDERTAKEN IN ACCORDANCE WITH THE CITY AND COUNTY OF SAN FRANCISCO STANDARD PLANS AND SPECIFICATIONS, WHICH ARE AVAILABLE ONLINE AT WWW.SFPURS.COM IN THE PROJECTS - CONTRACTS & BID SECTION.
 2. STATIONING SHOWN IS CALCULATED ALONG THE PROPERTY LINE.
 3. BACK OF WALK (BOW) ELEVATIONS ARE AT BACK OF WALK AT PROPERTY LINE.
 4. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO ROUTE THE PEDESTRIAN AND VEHICULAR TRAFFIC WITHIN THE CONSTRUCTION AREA.
 5. ELEVATIONS BASED ON CITY OF SAN FRANCISCO DATUM.
 6. UTILITY INFORMATION BASED ON SURVEYED IMPROVEMENTS AND RECORD INFORMATION. DUE TO INHERENT UNCERTAINTIES IN LOCATING UNDERGROUND FACILITIES, THIS INFORMATION CANNOT BE GUARANTEED TO BE COMPLETE. WORK SHALL BE ACCURATELY BE GUARANTEED. OTHER LINES AND ABANDONED UTILITIES MAY EXIST IN SURVEY AREA, BUT WERE NOT LOCATED. EXCAVATE WITH CAUTION. VERIFY LOCATIONS IN FIELD PRIOR TO DIGGING. CALL UNDERGROUND SERVICE ALERT PRIOR TO DIGGING AT 1-800-642-2644.
 7. THE CITY'S WATER DEPARTMENT WILL INSTALL THE WATER SERVICE UP TO AND INCLUDING THE WATER METER. FROM THE WATER METER TO THE BUILDING IS THE RESPONSIBILITY OF THE CONTRACTOR. IF NECESSARY, THE CITY'S WATER DEPARTMENT WILL INSTALL THE FIRE SERVICE LATERAL UP TO ONE FOOT BEYOND THE CURB LINE. CONTRACTOR WILL BE RESPONSIBLE FROM THIS CONNECTION POINT TO THE BUILDING.
 8. INVERT DEPTH OF EXISTING COMBINED SEWER BASED ON CITY RECORD INFORMATION ONLY.

- CONSTRUCTION NOTES:**
1. LIMIT OF WORK.
 2. SAW CUT LINE.
 3. MATCH EXISTING.
 4. REMOVE CURB, GUTTER, SIDEWALK & PAVING AND CONSTRUCT LANDSCAPE FACILITIES. SEE LANDSCAPE PLANS.
 5. REMOVE CURB (GUTTER, SIDEWALK & PAVING) AND CONSTRUCT CONCRETE SIDEWALK. SEE LANDSCAPE PLANS.
 6. REMOVE CURB, GUTTER, SIDEWALK & PAVING AND CONSTRUCT CONCRETE CURB AND 12.00' WIDE CONCRETE SIDEWALK.
 7. REMOVE CURB, GUTTER, SIDEWALK, PAVING AND DRIVEWAYS AND CONSTRUCT CONCRETE CURB AND 7.00' WIDE CONCRETE SIDEWALK.
 8. REMOVE CURB, GUTTER, SIDEWALK, PAVING AND DRIVEWAYS AND CONSTRUCT CONCRETE CURB WITH CONCRETE SIDEWALK 15.00' WIDE AND 25.00' WIDE WITH 2 DRIVEWAY AND CURB RAMPS.
 9. CONSTRUCT CONCRETE AUTOMOBILE CURB RAMP (DRIVEWAY).
 10. REMOVE PAVING AND BASE AND CONSTRUCT 2" AC WEARING SURFACE OVER 10" CONCRETE BASE.
 11. CONSTRUCT PEDESTRIAN CURB RAMP WITH YELLOW DOMED SURFACE.
 12. LANDING WITH 12" WIDE GROOVED AREA.

- ABBREVIATIONS:**
- BS BACK OF SIDEWALK
 - CS CURB FACE
 - CS+SEW COMBINED SEWER
 - CS+DWV COMBINED SEWER AND DWV
 - CS+GUT GUTTER
 - CS+SAN SANITARY SEWER
 - CS+SWR SANITARY SEWER CLEAN OUT
 - TOP OF CURB TO BE DETERMINED
 - WHIPFED CLAY PIPE
 - DOMESTIC WATER
 - WATER METER



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APPROVED:	6000	6000	6000	08/04/2014	6000	6000	PRELIMINARY

SAN FRANCISCO CALIFORNIA
SIDEWALK IMPROVEMENT PLAN FOR
88 ARKANSAS STREET
ASSESSOR'S BLOCK 3953 ~ LOT 002
SCALE:
HORIZ. 1" = 5'
VERT. 1" = 1'
C-4.1

SCALE:
HORIZ. 1" = 5'
VERT. 1" = 1'
C-4.1

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SIDEWALK IMPROVEMENTS 1

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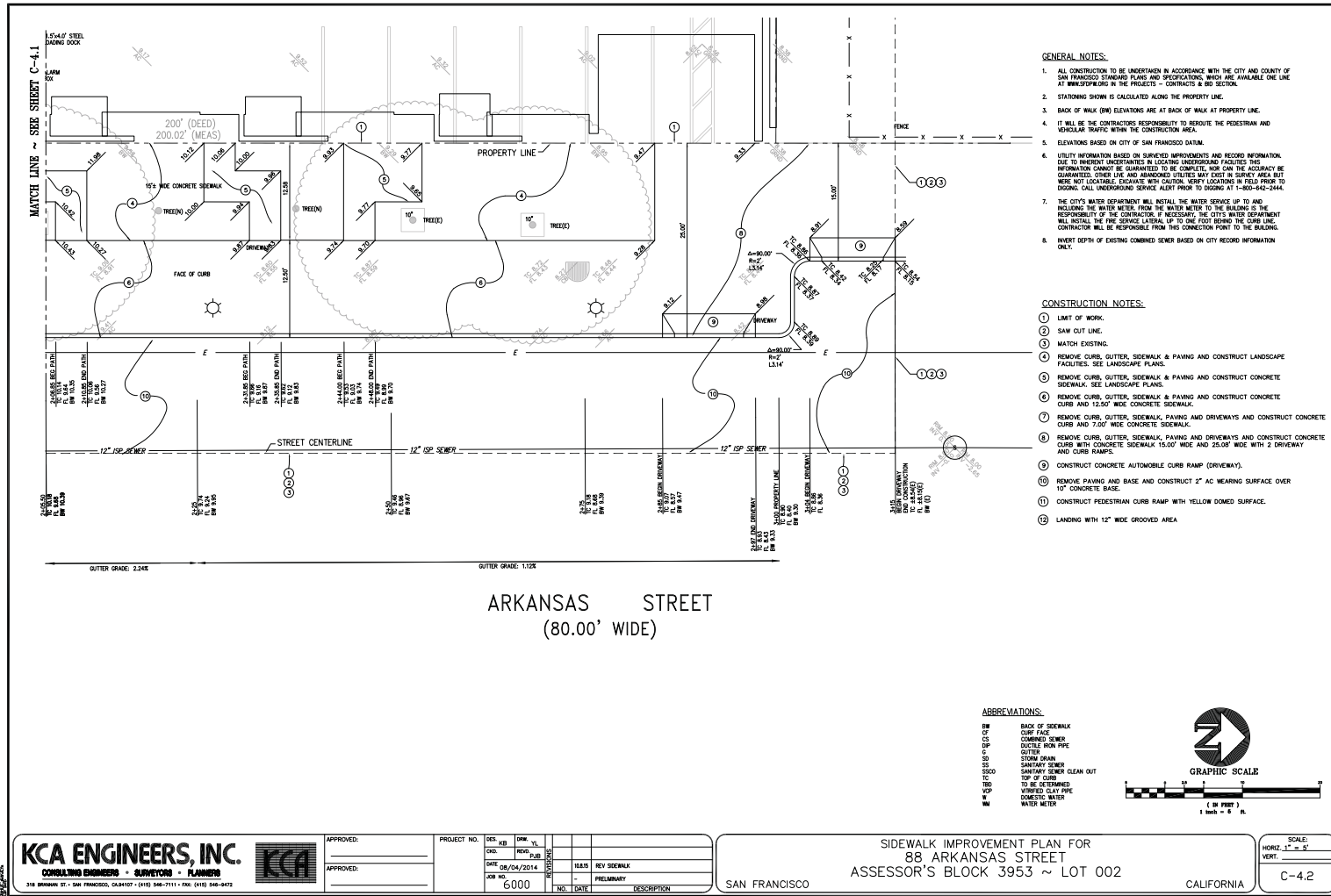
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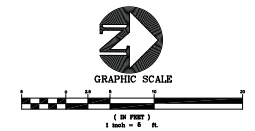
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- GENERAL NOTES:**
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 7. THE CITY'S WATER DEPARTMENT WILL INSTALL THE WATER SERVICE UP TO AND INCLUDING THE WATER METER FROM THE WATER METER TO THE BUILDING AS THE RESPONSIBILITY OF THE CONTRACTOR. IF NECESSARY, THE CITY'S WATER DEPARTMENT WILL INSTALL THE FIRE SERVICE LATERAL UP TO ONE FOOT BEYOND THE CURB LINE. CONTRACTOR WILL BE RESPONSIBLE FROM THIS CONNECTION POINT TO THE BUILDING.
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 12. LANDING WITH 12" WIDE GROOVED AREA.

- ABBREVIATIONS:**
- BM BACK OF SIDEWALK
 - CF CURB FACE
 - CS COMBINED SEWER
 - DIP DUCTILE IRON PIPE
 - G GUTTER
 - SD STORM DRAIN
 - SS SANITARY SEWER
 - SSC SANITARY SEWER CLEAN OUT
 - TOP OF CURB
 - TR TO BE CONFORMED
 - VCP VERIFIED CLAY PIPE
 - DM DOMESTIC WATER
 - WM WATER METER



ARKANSAS STREET
(80.00' WIDE)

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		6000		08/04/2014			REV SIDEWALK PRELIMINARY

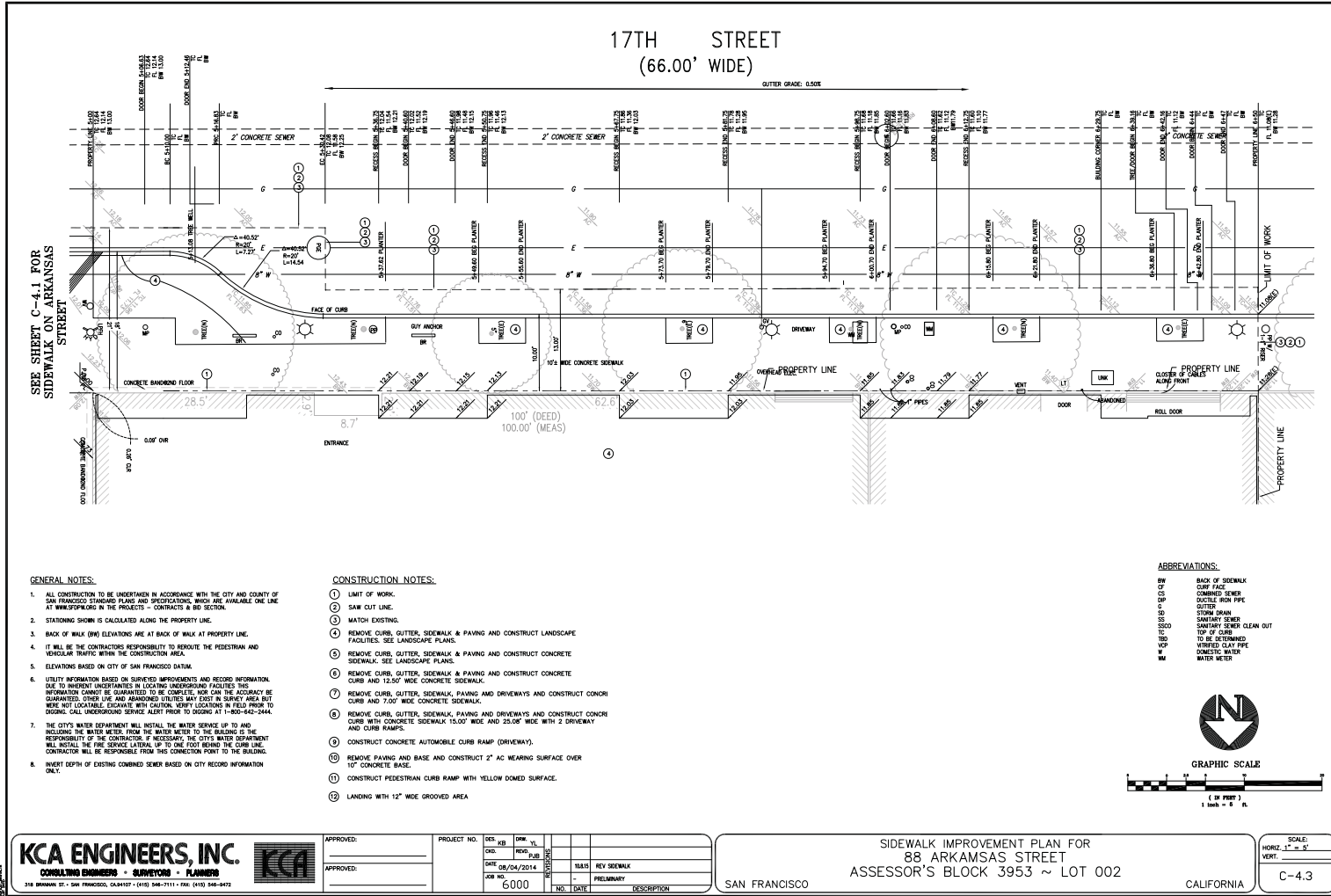
SAN FRANCISCO CALIFORNIA

SIDEWALK IMPROVEMENT PLAN FOR
88 ARKANSAS STREET
ASSESSOR'S BLOCK 3953 ~ LOT 002

SCALE:
HORIZ. 1" = 5'
VERT. _____
C-4.2

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SIDEWALK IMPROVEMENTS 3

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LANDSCAPE SITE PLAN

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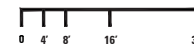
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LANDSCAPE ROOF PLAN



STREET TREE (to match existing)
London Plane Tree - *Platanus x acerifolia*



NEW ZEALAND FLAX
Phormium sp.



NATIVE GRASS - Siskiyou Blue Fescue
Festuca idahoensis 'Siskiyou Blue'



NATIVE PERENNIAL
London Plane Tree - *Platanus racemosa* -



NATIVE PERENNIAL - Foothill Penstemon
Penstemon 'Margarita BOP'



NATIVE ANNUAL - California Poppy
Escholzia californica 'Apricot Chiffon'

STREETSCAPE PLANT PALETTE



TREE - FLOW-THROUGH PLANTERS
River birch - *Betula nigra*



NATIVE RUSH - FLOW-THROUGH PLANTERS
California Rush - *Juncus patens* 'Elk Blue'



NATIVE ACCENT TREE - Western Redbud
Cercis occidentalis



NATIVE EVERGREEN SHRUB - Bush Mallow
Carpenteria californica 'Elizabeth'



EVERGREEN GRASSLIKE - Dwarf Mat Rush
Lomandra longifolia 'Breeze'



NATIVE PERENNIAL
Alum Root - *Heuchera micrantha*

COURTYARD PLANT PALETTE



FIESTA NEW ZEALAND FLAX
Phormium 'Jester'



Blonde Ambition Gramma Grass
Bouteloua gracilis 'Blonde Ambition'



Asparagus Fern
Asparagus densiflorus 'Myers'



Aeonium
Aeonium 'Carol'



Orange Libertia
Libertia peregrinans



Golden Sedum
Sedum rupestre 'Angelina'

ROOFTOP PLANT PALETTE

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PLANT MATRIX

17TH STREET



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BASEMENT LEVEL

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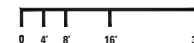
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GROUND FLOOR PLAN

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SECOND FLOOR PLAN

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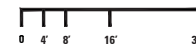
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THIRD & FOURTH FLOOR PLAN

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FIFTH FLOOR PLAN

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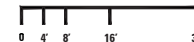
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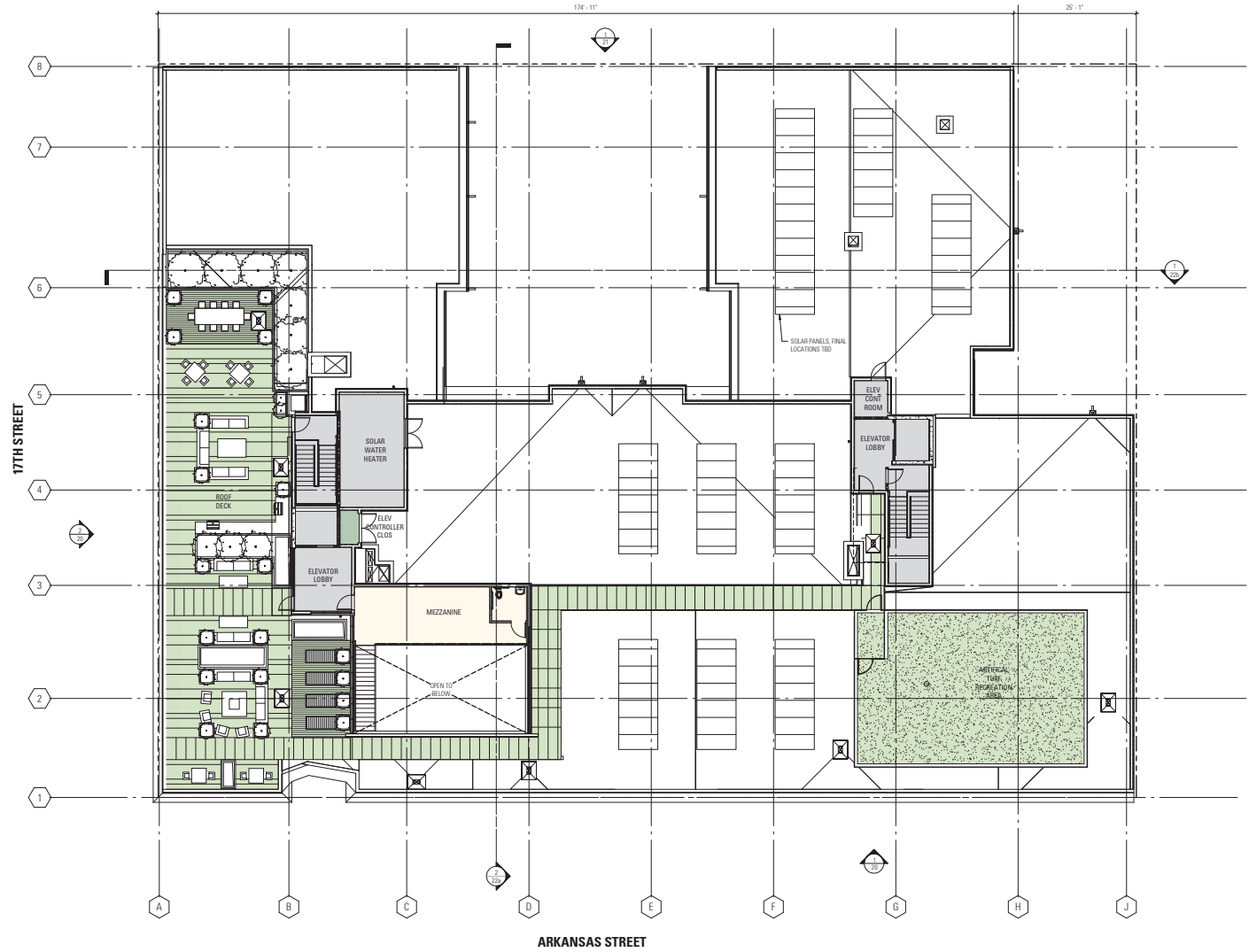


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ROOF PLAN

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EAST ELEVATION (ARKANSAS STREET)



SOUTH ELEVATION (17TH STREET)

- MATERIALS KEY**
- 1. CONCRETE COLUMN
 - 2. ALUMINUM WINDOW
 - 3. TEMPERED GLASS GUARDRAIL
 - 4. STOREFRONT WINDOW SYSTEM
 - 5. CEMENT PLASTER/CEMENT BOARD
 - 6. CHANNEL GLASS
 - 7. SPANDREL GLASS
 - 8. METAL CANOPY
 - 9. SLOPED ROOF
 - 10. EXPOSED CONCRETE SLAB
 - 11. ARCHITECTURAL CONCRETE
 - 12. GARAGE DOOR
 - 13. RAIN SCREEN OR CEMENT BOARD

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ELEVATIONS

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- MATERIALS KEY**
1. CONCRETE COLUMN
 2. ALUMINUM WINDOW
 3. TINTED GLASS GUARDRAIL
 4. STOREFRONT WINDOW SYSTEM
 5. CEMENT PLASTER/CEMENT BOARD
 6. CHANNEL GLASS
 7. SPANDREL GLASS
 8. METAL CANOPY
 9. SLOPED ROOF
 10. EXPOSED CONCRETE SLAB
 11. ARCHITECTURAL CONCRETE
 12. GARAGE DOOR
 13. SKYLIGHT

21 NORTH ELEVATION



21 WEST ELEVATION

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ELEVATIONS

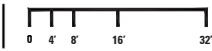
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ⓑ NORTH/SOUTH SECTION THROUGH COURTYARDS



ⓐ EAST/WEST SECTION THROUGH SOLARIUM

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PERSPECTIVE AT 17th & ARKANSAS

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STOOP PERSPECTIVE



BIRDS EYE PERSPECTIVE

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STOOP PERSPECTIVES

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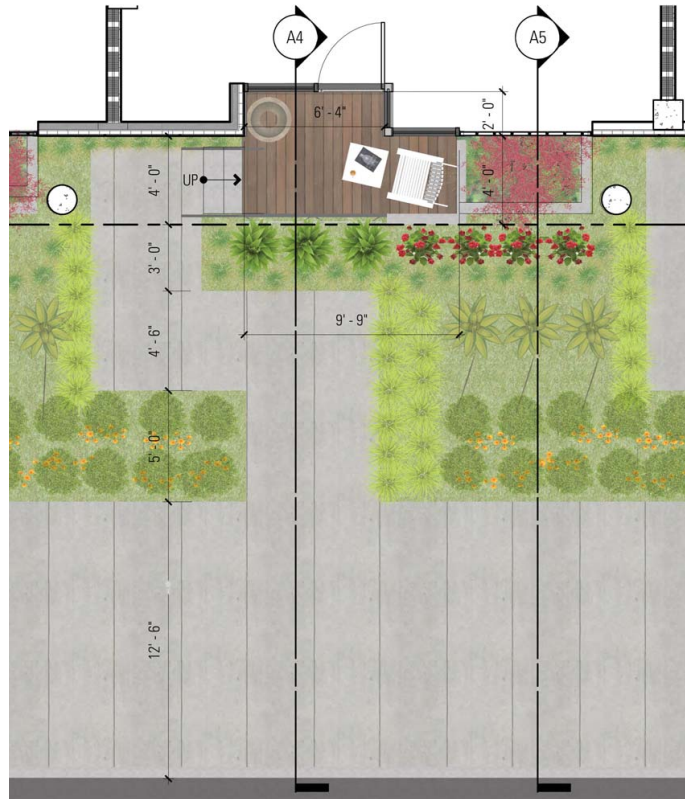
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STOOP PLAN



STOOP ELEVATION



STOOP SECTION @ WALKWAY



STOOP SECTION @ PLANTER

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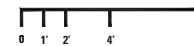
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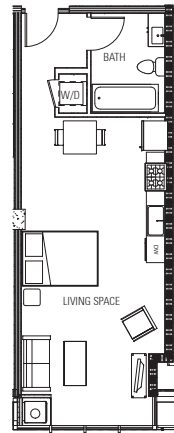
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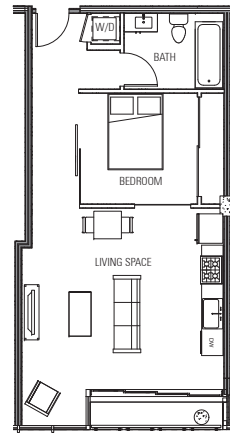
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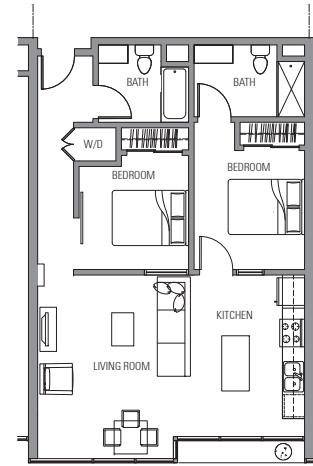




TYPICAL STUDIO



TYPICAL 1 BEDROOM



TYPICAL 2 BEDROOM

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UNIT PLANS

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