

230

7th Street

Residential Condominium
Mixed Use Project

San Francisco • California

**GARY
GEE
AIA**

GARY GEE ARCHITECTS, INC.
98 Brady Street, #8
San Francisco, CA 94103
Tel. 415.562-8888
Fax. 415.863-8879

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Project No. 13-022 Date 08.28.13

Revisions

No.	Issue / Date
	REVIEW 09.15.13
	REVIEW 10.30.13
	REVIEW 11.05.13
	REVIEW 11.22.13
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	PPA 01.06.14
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	LPA 06.04.15
	ISSUED FOR REVIEW 07.07.16
	REVISED LPA 12.02.16
	REVISED LPA 03.01.17
	REVISED LPA 08.22.17

SCOPE OF WORK

DEMOLISH EXISTING BUILDING.

CONSTRUCT NEW SIX STORY MIXED USE BUILDING WITH FIVE STORIES OF RESIDENTIAL USE ABOVE GROUND FLOOR COMMERCIAL RETAIL SPACE AND PRIVATE PARKING GARAGE: 40 NEW RESIDENTIAL UNITS TOTAL.

DRAWING INDEX

- A0.0 VICINITY MAP, SCOPE OF WORK, DRAWING INDEX
- A0.1 PLANNING DEPARTMENT NOTES
- SURVEY
- A1.0 SITE PLAN
- A2.1 FLOOR PLANS
- A2.2 FLOOR PLANS
- R1 7TH STREET VIEW
- A3.1 ELEVATIONS
- A3.2 ELEVATIONS
- A4.1 SECTIONS
- R2 LANGTON STREET VIEW
- A6.1 DETAIL LANGTON BRICK FACADE
- R3 COURTYARD VIEW
- A6.2 DETAIL LANGTON BRICK FACADE
- A6.3 DETAIL LANGTON BRICK FACADE
- A8.1 CONCEPTUAL IMAGERY

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BICYCLE PARKING:
RESIDENTIAL:

CLASS 1 MINIMUM REQUIRED: 1 SPACE FOR EVERY DWELLING UNIT (SEC. 155.2.11, TABLE 155.2)
REQUIRED: 40 CLASS 1 SPACES FOR 40 DWELLING UNITS
PROPOSED: 40 CLASS 1 SPACES (AT GROUND LEVEL: 40 LIFT ASSIST BICYCLE RACKS IN SECURE ROOM)

CLASS 2 MINIMUM REQUIRED: ONE CLASS 2 SPACE PER 20 DWELLING UNITS (SEC. 155.2.11, TABLE 155.2)
REQUIRED: 40 DWELLING UNITS / 20 = 2.0 (2 CLASS 2 SPACES)
PROPOSED: 2 CLASS 2 BICYCLE RACKS - 4 SPACES (ON SIDEWALK, LANGTON STREET)

COMMERCIAL:
CLASS 1 MINIMUM REQUIRED: ONE CLASS 1 SPACE FOR EVERY 7,500 SQ.FT. OF OCCUPIED FLOOR AREA (SEC. 155.2.16, TABLE 155.2)
REQUIRED: 1,825 SQ.FT. OCCUPIED FLOOR AREA / 7,500 = .24 (NONE REQUIRED)
PROPOSED: NONE
CLASS 2 MINIMUM REQUIRED: ONE CLASS 2 SPACE FOR EVERY 750 SQ.FT. OCCUPIED FLOOR AREA (SEC. 155.2.16, TABLE 155.2)
REQUIRED: 1,825 SQ.FT. OCCUPIED FLOOR AREA / 750 = 2.43 (2 CLASS 2 SPACES)
PROPOSED: 2 CLASS 2 BICYCLE RACKS - 4 SPACES (ON SIDEWALK, 7TH STREET)

RESIDENTIAL OPEN SPACE:

REQUIRED PRIVATE OR COMMON: 80 SQ.FT./DWELLING UNIT (SEC.135, TABLE 135B)
REQUIRED: 40 X 80 SQ.FT. = 3,200 SQ.FT.
PRIVATE PROPOSED FOR 12 UNITS: 960 SQ.FT. (DECKS AND TERRACES - SEE TABLE)
COMMON PROPOSED: 3,170 SQ.FT. (REAR YARD AT GRADE)
TOTAL RESIDENTIAL OPEN SPACE PROPOSED: 4,130 SQ.FT.

RESIDENTIAL UNITS WITH COMPLYING PRIVATE OPEN SPACE					
UNIT	AREA SQ. FT.	UNIT	AREA SQ. FT.	UNIT	AREA SQ. FT.
202	80 *	302	80	502	80
204	80 *	306	80	506	80
206	80 *	402	80	602	80
208	80 *	406	80	606	80
				TOTAL PRIVATE	960
				OPEN SPACE:	960

COMMERCIAL OPEN SPACE:

NOTE: ADDITIONAL 1,065 SQ.FT. OPEN SPACE PROPOSED AT ROOF OF BUILDING IS NOT INCLUDED IN CALCULATIONS.
REQUIRED: 1 SQ.FT./250 SQ.FT. OF OCCUPIED FLOOR AREA (SEC. 135, TABLE 135.3)
REQUIRED: 1,825 SQ.FT./250 = 7.30 (7 SQ.FT. REQUIRED)
PROPOSED: 15 SQ.FT. (ADJACENT COMMERCIAL SPACE ON 7TH STREET)

BUILDING GROSS AREAS:
(PER PLANNING CODE DEFINITION)

RESIDENTIAL UNITS: 33,425 SQ.FT.
COMMERCIAL SPACE: 2,012 SQ.FT.
BUILDING COMMON: **
TOTAL GROSS AREA: 44,722 SQ.FT. ***

STREET, SAN FRANCISCO, CALIFORNIA 94103
730, LOT 004

MIXED USE BUILDING: 5 STORIES OF RESIDENTIAL CONDOMINIUM ABOVE GROUND LEVEL COMMERCIAL SPACE AND RESIDENT PRIVATE GARAGE.

RIGHT AND BULK DISTRICT
IN SOMA SPECIAL USE DISTRICT
PROJECT IN EASTERN NEIGHBORHOODS MIXED DISTRICTS

ANNUAL HEIGHT LIMITS FOR NARROW STREETS IN NEIGHBORHOODS MIXED USE DISTRICTS.

ON 7TH STREET: NONE
REAR YARD: 25% OF LOT DEPTH

REAR YARD AT GRADE: 25% OF LOT DEPTH (.25 X 165'-0" = 41'-3")

REAR YARD AT GRADE, LOT DEPTH 44'-0"

65'-0"

40 UNITS: 16 2 - BEDROOM (40%), 23 1 - BEDROOM, 1 STUDIO

1,148 SQ.FT. GROSS FLOOR AREA (1,030 SQ.FT. OCCUPIED FLOOR AREA)
664 SQ.FT. GROSS FLOOR AREA (795 SQ.FT. OCCUPIED FLOOR AREA)
2,012 SQ.FT. GROSS FLOOR AREA (1,825 SQ.FT. OCCUPIED FLOOR AREA)

REQUIRED: NONE IN WMUG DISTRICT (SEC. 151.1(b))
PERMITTED AS ACCESSORY (CONDITIONAL): IN WMUG DISTRICTS, IS PER DWELLING UNIT (SEC. 151.1; TABLE 151.1)

(CONDITIONAL): 40 UNITS X 0.75 = 30 STALLS
20 RESIDENTIAL PARKING STALLS (IN GROUND LEVEL PRIVATE GARAGE)

REQUIRED: NONE IN WMUG DISTRICT (SEC. 151.1(b))
PERMITTED AS ACCESSORY: IN WMUG DISTRICTS, 1 CAR FOR EACH 1,500 SQ.FT. GROSS FLOOR AREA (SEC. 151.1; TABLE 151.1)

REQUIRED: ONE FOR 2,012 GROSS SQ.FT.
ED: NONE

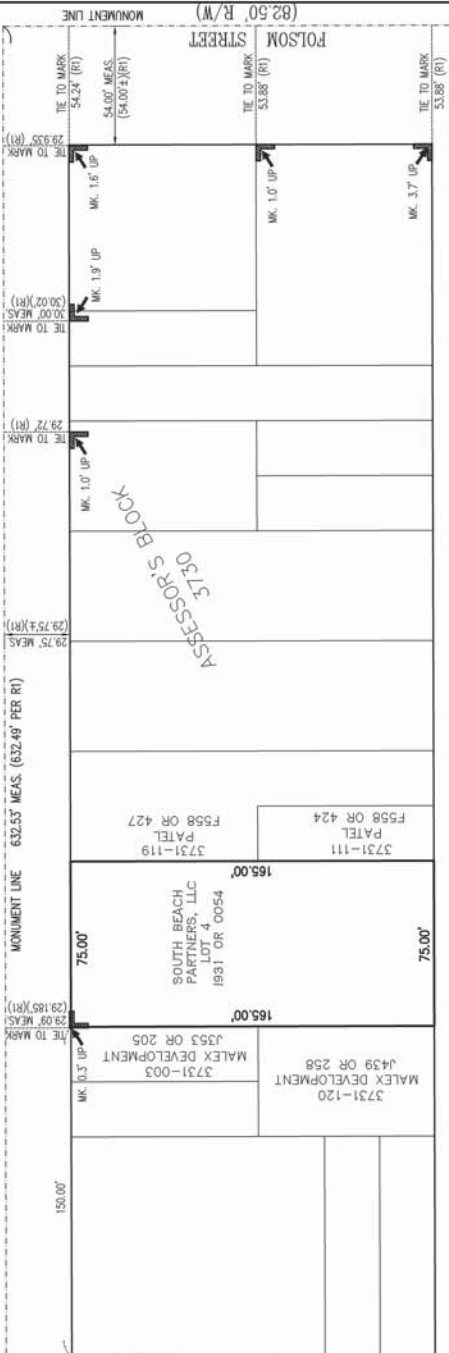
REQUIRED: 0 FREIGHT LOADING SPACES FOR 0-100,000 GROSS SQ.FT. OF GROSS USE. (SEC. 152.1, TABLE 152.1)

REQUIRED: 0 FREIGHT LOADING SPACES FOR 44,722 SQ.FT. GROSS AREA (PLANNING CODE DEFINITION)

ED: NONE

* ONLY AREAS OF DECKS WITH MIN. DIMENSION OF 6'-0" ARE COUNTED TOWARD PRIVATE OPEN SPACE. WHERE AREAS OF PRIVATE DECKS OR TERRACES EXCEED THE 80 SQ.FT. PER UNIT REQUIREMENT, THE ADDITIONAL SQUARE FOOTAGE IS NOT COUNTED TOWARD THE TOTAL REQUIREMENT.

7TH STREET (82.50' R/W)



LANGTON STREET (35.00' R/W)

BOUNDARY SURVEY

SCALE: 1"=40'

SYMBOLS

- BOUNDARY - SUBJECT PROPERTY
- RIGHT-OF-WAY LINE
- ADJOINERS PROPERTY LINE
- MONUMENT LINE
- TOTAL
- DOCUMENT NUMBER
- BUILDING LINE
- OVERHANG LINE
- WATER VALVE
- WATER METER
- STORM DRAIN MANHOLE
- SANITARY SEWER CLEANOUT
- SANITARY SEWER MANHOLE
- TELEPHONE BOX
- PACIFIC GAS & ELECTRIC BOX
- TREE
- POWER POLE
- GUY POLE
- UTILITY BOX
- ROOF DRAIN
- WATER METER
- GAS METER
- GAS VALVE
- JOINT POLE
- TRAFFIC SIGNAL
- STREET LIGHT
- STREET LIGHT BOX
- CONCRETE ELEVATION
- GROUND ELEVATION
- TOP OF PAVEMENT ELEVATION
- TOP OF CURB ELEVATION
- TOP OF WALL ELEVATION
- FLOW LINE ELEVATION

NOTES

1. EASEMENTS AND/OR RIGHTS OF WAY ARE SHOWN HEREON PER THE PIR. OTHER EASEMENTS AND/OR RIGHTS OF WAY OF RECORD, IF ANY, ARE NOT SHOWN HEREON. THE PIR PROVIDED BY THE CLIENT IS FROM 2005; NO CURRENT TITLE REPORT HAS BEEN PROVIDED. THEREFORE, ANY RECORDED DOCUMENTS AFFECTING THE PROPERTY RECORDED AFTER 2005 ARE NOT REFLECTED ON THE SURVEY.
 2. DATE OF FIELD SURVEY: MARCH 20 AND 25, 2013 AS TO THE BOUNDARY AND TOPOGRAPHIC SURVEY OF THE SUBJECT PROPERTY.
 3. THE UTILITIES SHOWN HEREON ARE BY SURFACE OBSERVATION AND RECORD INFORMATION ONLY AND NO WARRANTY IS GIVEN HEREON AS TO THEIR EXACT LOCATION. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR CONTRACTOR TO VERIFY THE EXACT LOCATION OF THE UTILITIES WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY.
- UTILITY JURISDICTIONS / PROVIDERS ARE AS FOLLOWS:
 STORM DRAINS: CITY AND COUNTY OF SAN FRANCISCO
 SANITARY SEWER: CITY AND COUNTY OF SAN FRANCISCO
 WATER: CITY AND COUNTY OF SAN FRANCISCO
 ELECTRICITY: PACIFIC GAS & ELECTRIC CO.
 NATURAL GAS: PACIFIC GAS & ELECTRIC CO.

LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF SAN FRANCISCO, COUNTY OF SAN FRANCISCO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
 COMMENCING AT A POINT ON THE SOUTHWESTERLY LINE OF SEVENTH STREET, DISTANT THEREON ONE HUNDRED FIFTY (150) FEET SOUTHEASTERLY FROM THE SOUTHEASTERLY LINE OF HOWARD STREET, RUNNING THENCE SOUTHEASTERLY ALONG SAID LINE OF SEVENTH STREET SEVENTY-FIVE (75) FEET; THENCE AT A RIGHT ANGLE SOUTHWESTERLY ONE HUNDRED SIXTY-FIVE (165) FEET TO THE NORTHEASTERLY LINE OF LANGTON STREET; THENCE AT A RIGHT ANGLE NORTHWESTERLY ALONG SAID LINE OF LANGTON STREET SEVENTY-FIVE (75) FEET; THENCE AT A RIGHT ANGLE NORTHEASTERLY ONE HUNDRED SIXTY-FIVE (165) FEET TO SAID SOUTHWESTERLY LINE OF SEVENTH STREET AND THE POINT OF COMMENCEMENT.

BING PART OF 100 VARA BLOCK NO. 408

APN: LOT 004, BLOCK 3730

TITLE REPORT

THE TITLE REPORT USED IN THIS SURVEY WAS ISSUED BY FIRST AMERICAN TITLE COMPANY, PRELIMINARY REPORT TITLE NO. 3809-1940527, DATED MAY 24, 2005 AT 7:30 A.M., REFERRED TO HEREON AS THE "PIR".

BASIS OF SURVEY

BASIS OF SURVEY IS MONUMENT MAP NO. #285 ON FILE WITH THE CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS. STRUCTURE CUT-OFFS WERE USED TO RE-ESTABLISH STREET CONTROL LINES. NO BEARINGS ARE GIVEN.

MONUMENT MAP REFERENCE

R1) MONUMENT MAP NO. 285.

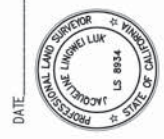
BENCHMARK

STAR CUT AT THE SOUTH SIDE OF THE SOUTHEAST CURB RETURN AT THE INTERSECTION OF 7TH STREET AND HOWARD STREET. ELEVATION = 14.64.

ELEVATIONS ARE BASED ON SAN FRANCISCO CITY DATUM.

SURVEYOR'S STATEMENT

THIS SURVEY WAS DONE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE LAND SURVEYORS ACT AT THE REQUEST OF PFAU LONG ARCHITECTURE IN MARCH 2013.



DATE: _____
 JACQUELINE LUK P.L.S. 8934
 FOR LUK & ASSOCIATES, INC.

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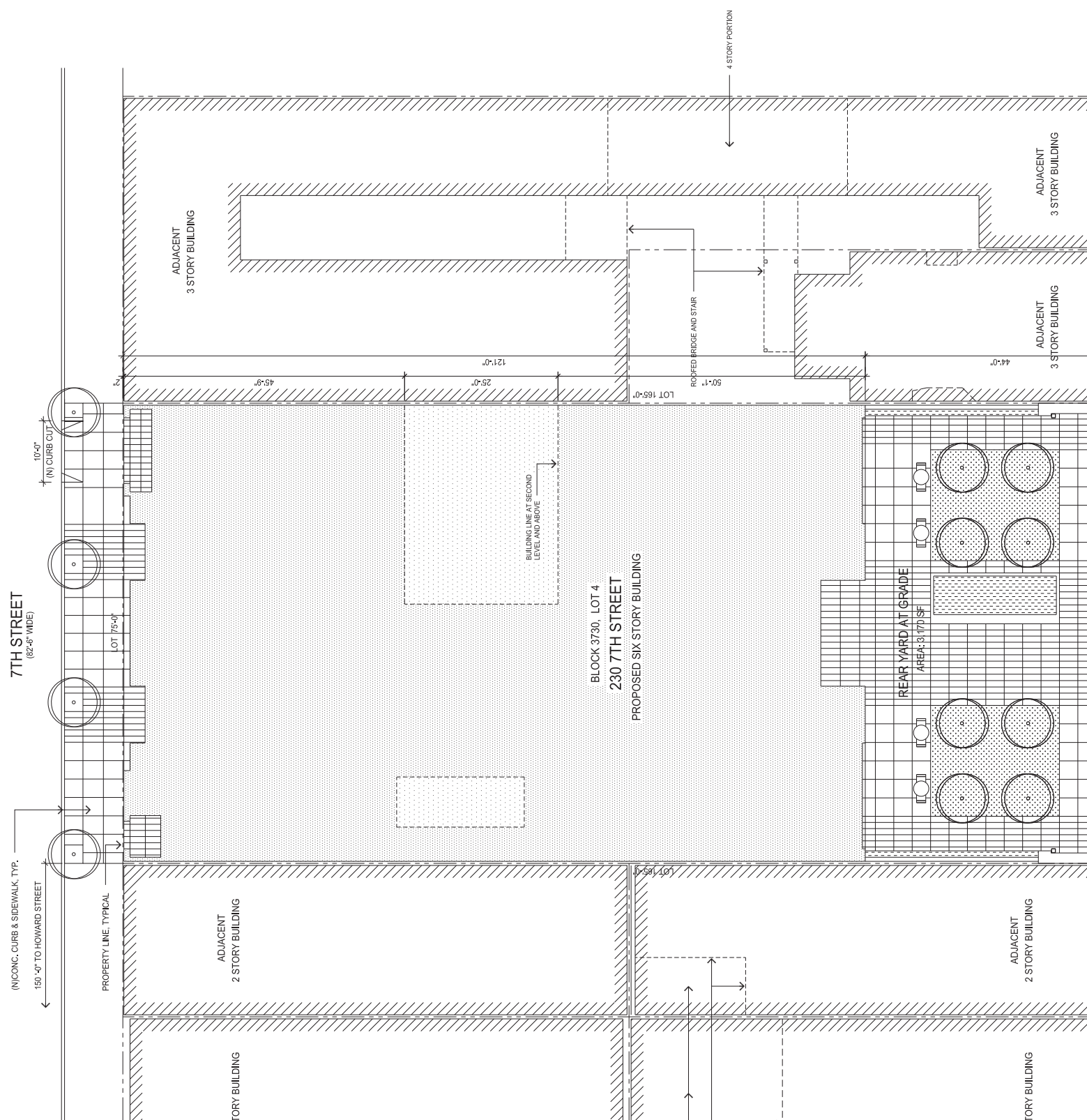
GARY GEE ARCHITECTS, INC.
98 Brady Street, #8
San Francisco, CA 94103
Tel: 415.563.8881
Fax: 415.863.8879

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	ISSUED FOR REVIEW 07.26.16
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	REVISED LPA 09.01.17
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7TH STREET
(82'-5" WIDE)

(NONCONC. CURB & SIDEWALK, TYP.
150'-0" TO HOWARD STREET

PROPERTY LINE, TYPICAL

LOT 75'-0"

10'-0"
(N) CURB CUT

ADJACENT
3 STORY BUILDING

ADJACENT
3 STORY BUILDING

ADJACENT
3 STORY BUILDING

BLOCK 3730, LOT 4
230 7TH STREET
PROPOSED SIX STORY BUILDING

BUILDING LINE AT SECOND
LEVEL AND ABOVE

ROOFED BRIDGE AND STAIR

REAR YARD AT GRADE
AREA: 3,177 SF

ADJACENT
2 STORY BUILDING

ADJACENT
2 STORY BUILDING

4 STORY PORTION

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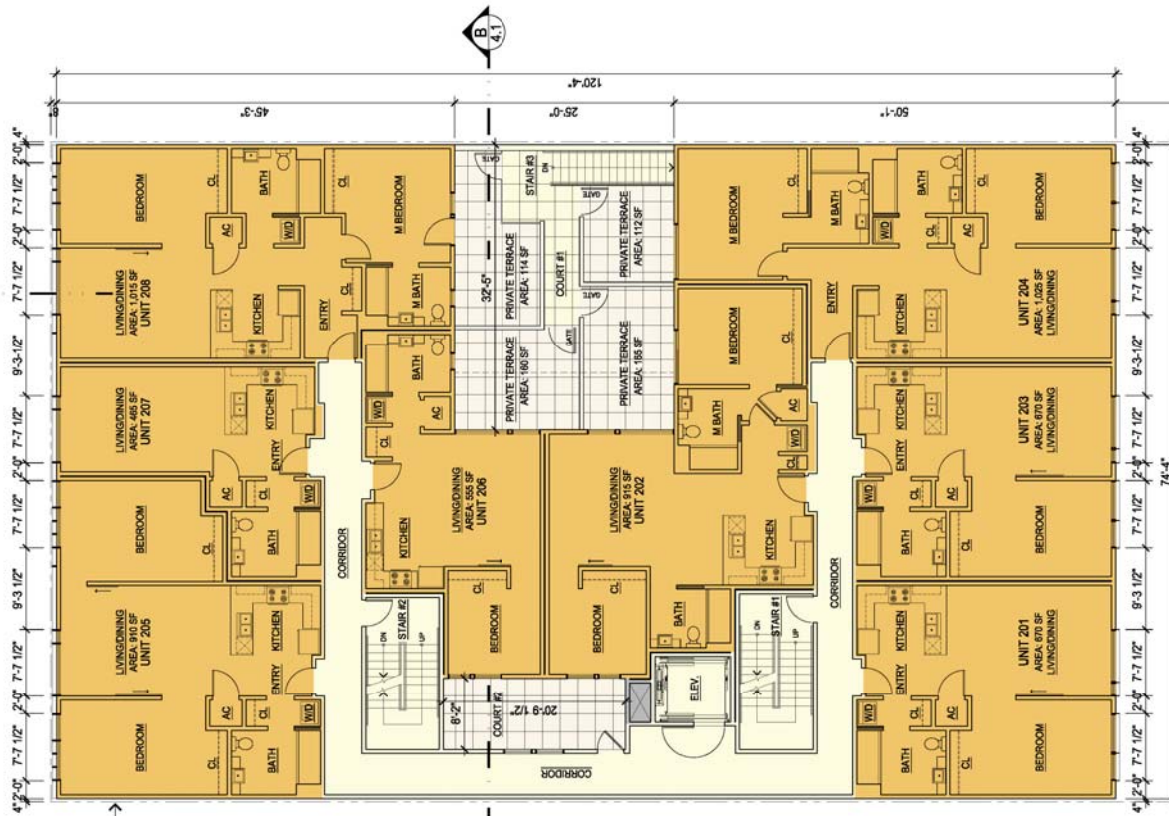
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98 Brady Street, #8
San Francisco, CA 94103
Tel: 415.398.1100
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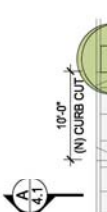
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LEGEND

- RESIDENTIAL
- CIRCULATION
- SERVICE



LEGEND

- COMMERCIAL
- AUTO PARKING
- BICYCLE PARKING
- CIRCULATION
- SERVICE

REAR YARD BELOW

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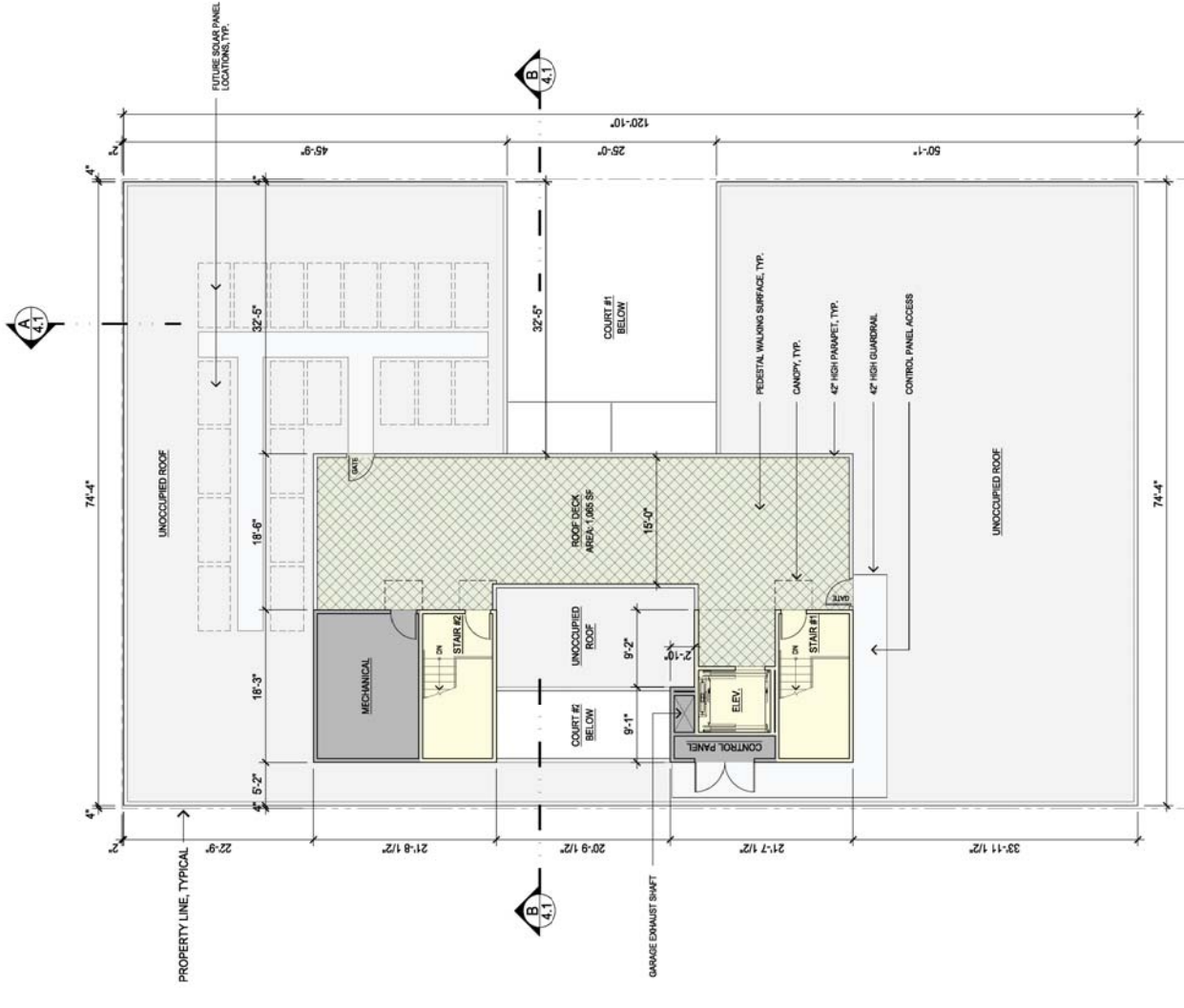
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98 Brady Street, #8
San Francisco, CA 94103
Tel: 415.398.1100
Fax: 415.863.8879

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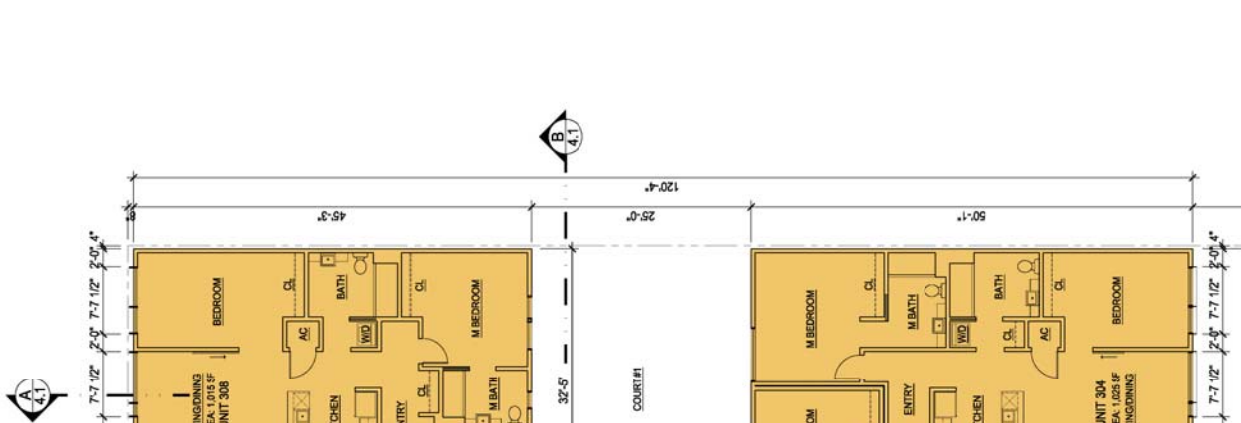
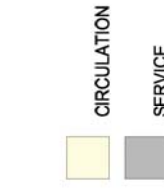
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13	REVISED LPA 12.09.16
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Residential Conversion
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GARY GEE ARCHITECTS, INC.

98 Brandy Street, #8
San Francisco, CA 94103
Tel. 415.863-8888
Fax 415.863-8879

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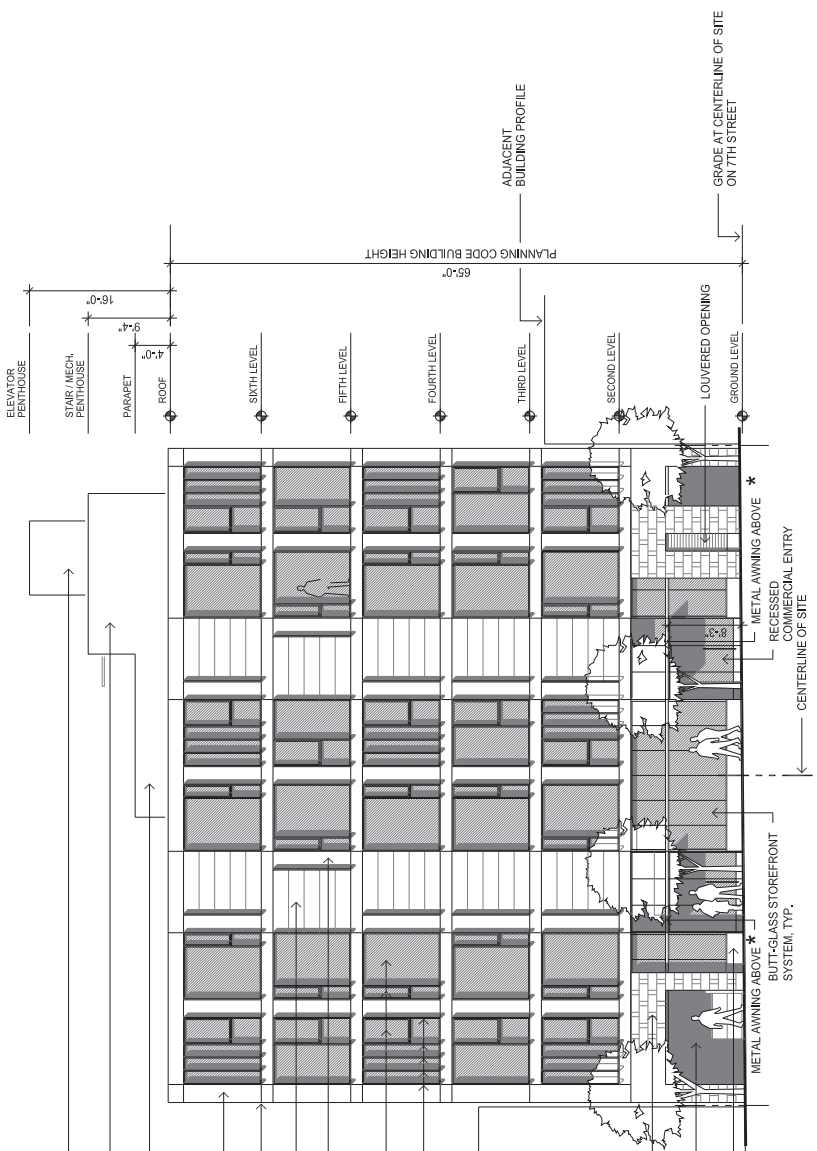
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98 Brady Street, #8
San Francisco, CA 94103
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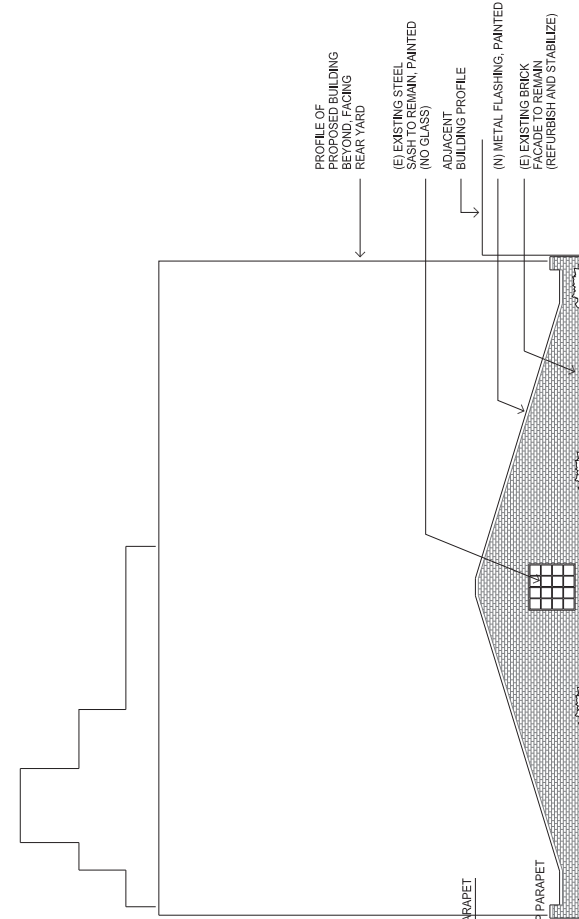


* CONFORM TO REQUIREMENTS FOR AWINGS: SF PLANNING CODE SECTION 135.16(I)(2)

SCALE: 1/8"=1'-0"

NORTH ELEVATION (7TH STREET)

- ELEVATOR PENTHOUSE (CEMENT PLASTER, TYP.)
- STAIR PENTHOUSE (CEMENT PLASTER, TYP.)
- PARAPET (CEMENT PLASTER, TYP.)
- CONTROL JOINT
- CEMENT PLASTER
- METAL PANEL, OXIDIZED
- CEMENT PLASTER
- ALUMINUM WINDOW SYSTEM
- ALUMINUM FIN
- ADJACENT BUILDING PROFILE
- ADJACENT BUILDING PROFILE
- ADJACENT BUILDING PROFILE
- ALUMINUM FIN



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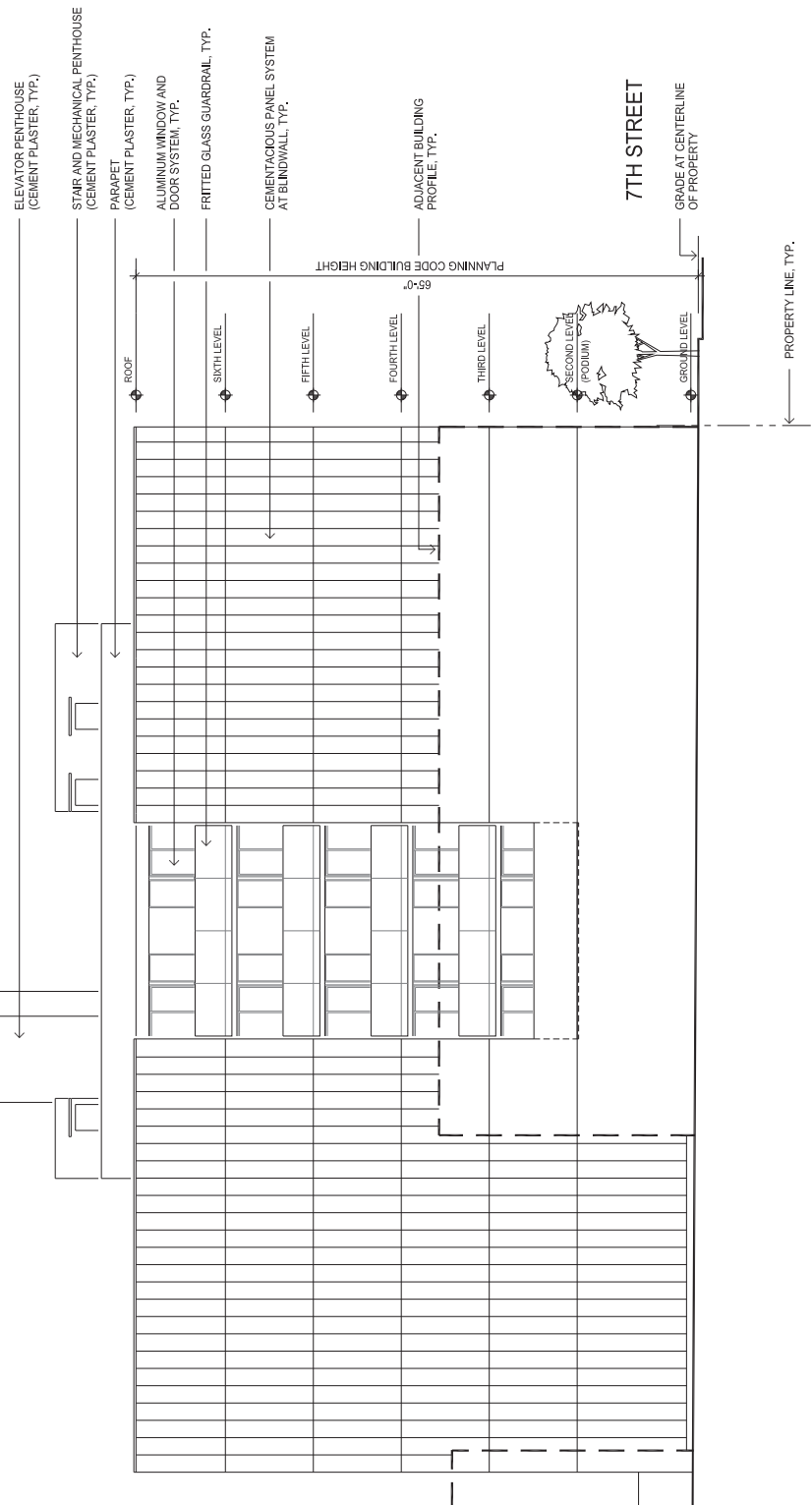
GARY GEE ARCHITECTS, INC.
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San Francisco, CA 94103
Tel: 415.556.5888
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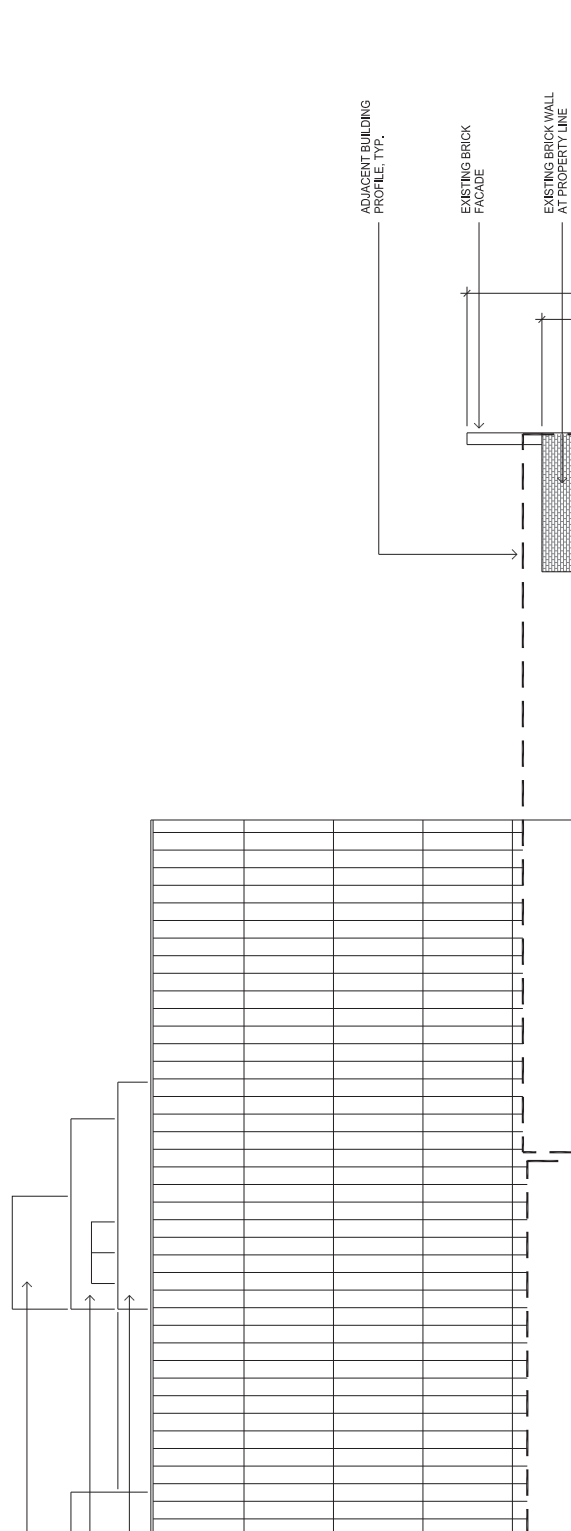
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SCALE: 1/8"=1'-0"



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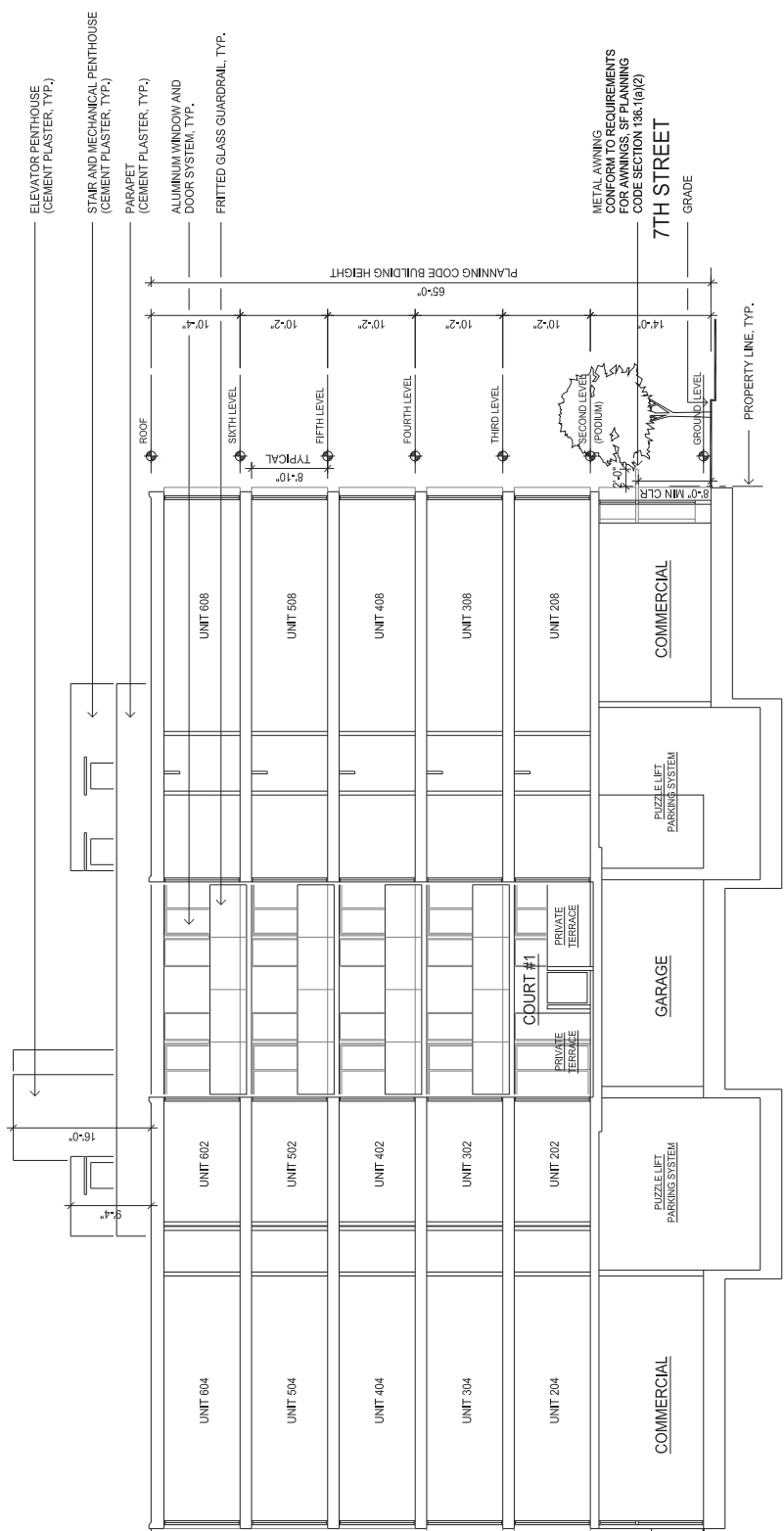
GARY GEE ARCHITECTS, INC.
98 Brady Street, 8R
San Francisco, CA 94103
Tel. 415.563-8888
Fax. 415.663-8879

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Project No. 13-422 Date 08.28.13

Revisions

No.	Issue / Date
1	REVIEW 09.13.13
2	REVIEW 10.26.13
3	REVIEW 11.05.13
4	REVIEW 11.22.13
5	REVIEW 12.23.13
6	PPA 01.06.14
7	REVISED PPA 03.25.15
8	REVISED PPA 05.15.15
9	LPA 08.04.15
10	ISSUED FOR REVIEW 11.02.16
11	REVISED LPA 12.02.16
12	REVISED LPA 03.07.17
13	REVISED LPA 06.22.17



SCALE: 1/8"=1'-0"



230

7th Street

Residential Conversion
Mixed Use Project

San Francisco • California



GARY GEE ARCHITECTS, INC.

98 Brady Street, #8
San Francisco, CA 94103
Tel: 415 663-8879
Fax: 415 663-8879

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Project No. 13-022
Date 06.28.13

Revisions

No.	Issue / Date
1	REVISED I PA 12.26.16
2	REVISED I PA 05.01.17
3	REVISED I PA 09.25.17



230
7th Street

Residential Condominium
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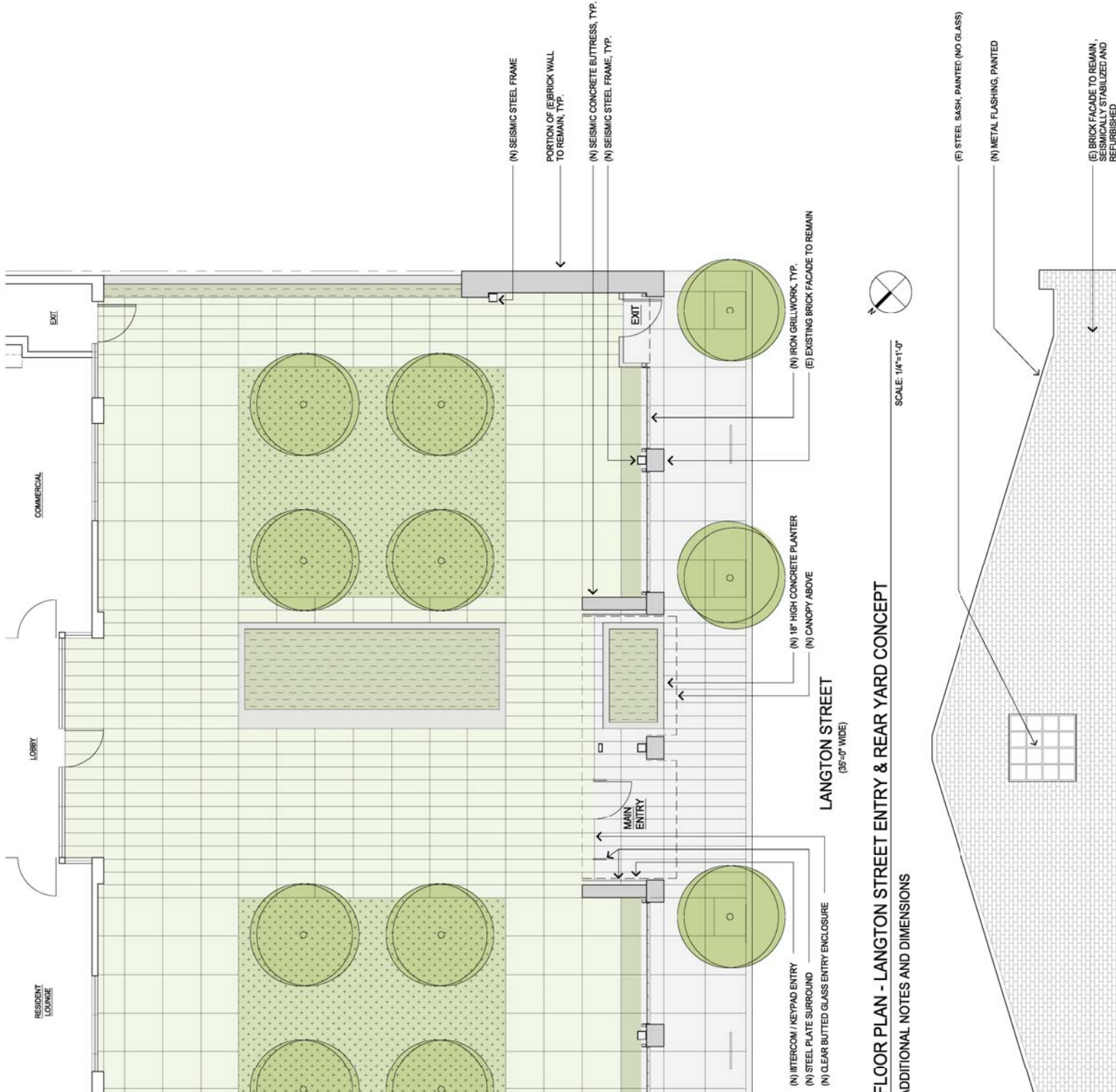
GARY
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GARY GEE ARCHITECTS, INC.
98 Brady Street, 4th
San Francisco, CA 94103
Tel: 415.362.3333
Fax: 415.863.8879

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Project No. 13-022 Date 08.28.13

Revisions	
No.	Issue / Date
REVISED	11.07.16
REVIEW	11.30.16
REVISED (PA)	12.05.16
REVISED (PA)	05.01.17
REVISED (PA)	09.26.17



FLOOR PLAN - LANGTON STREET ENTRY & REAR YARD CONCEPT
ADDITIONAL NOTES AND DIMENSIONS

230

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GARY
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AIA

GARY GEE ARCHITECTS, INC.

98 Bruley Street, #8
San Francisco, CA 94103
Tel: 415.863-8880
Fax: 415.863-8879

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Project No. **13-022** Date **06.28.13**

Revisions

No.	Issue / Date
1	REVISED I/P 12.26.16
2	REVISED I/P 05.01.17
3	REVISED I/P 09.26.17



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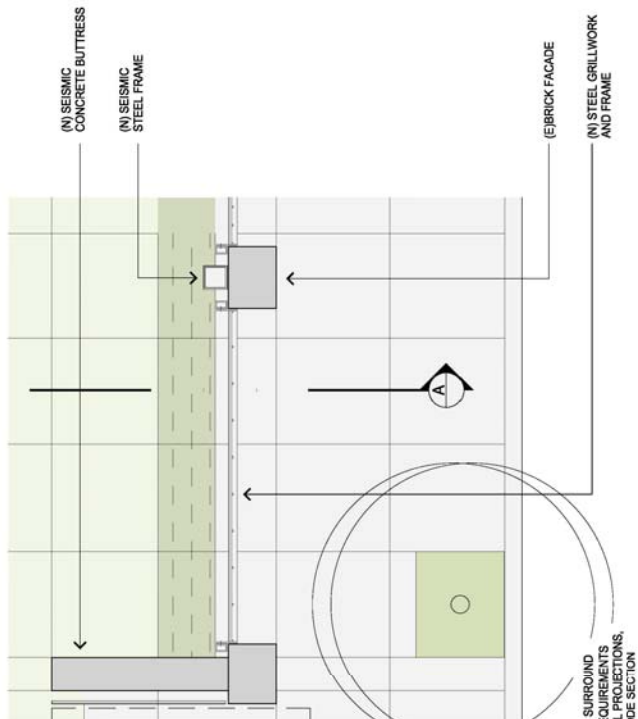
GARY GEE ARCHITECTS, INC.
98 Brady Street, #8
San Francisco, CA 94103
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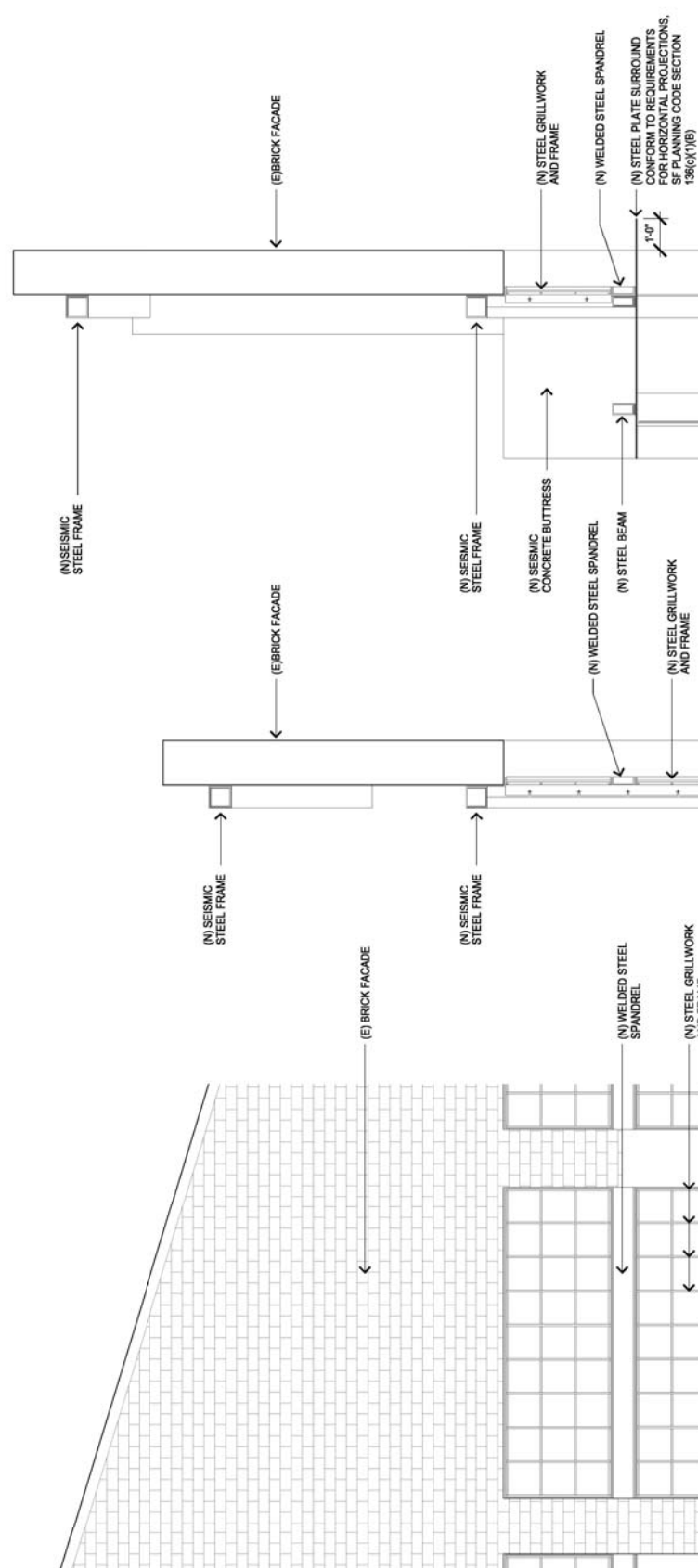
Project No. 13-022 Date 08.28.13

Revisions

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5	REVISED I/A 09.25.17



SCALE: 1/2"=1'-0"



230

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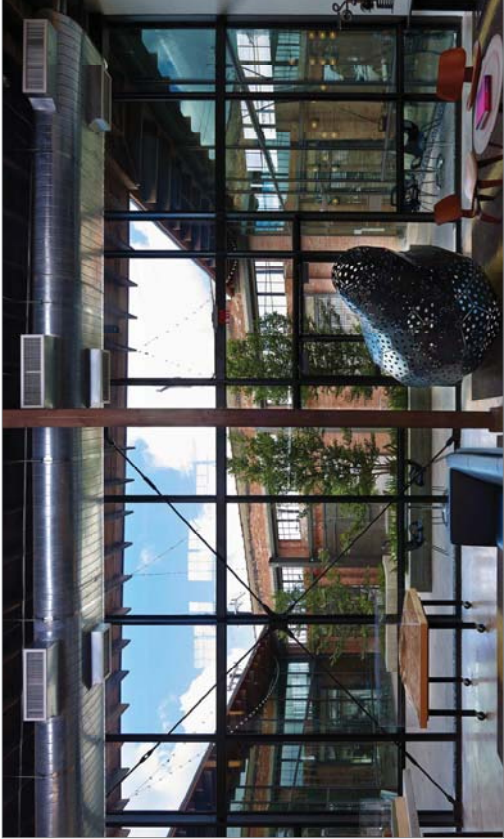
GARY GEE ARCHITECTS, INC.
98 Brady Street, #8
San Francisco, CA 94103
Tel: 415 963-5888
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Project No. 13-022 Date 08.28.13

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	REVISED I/A 09.25.17



COURT



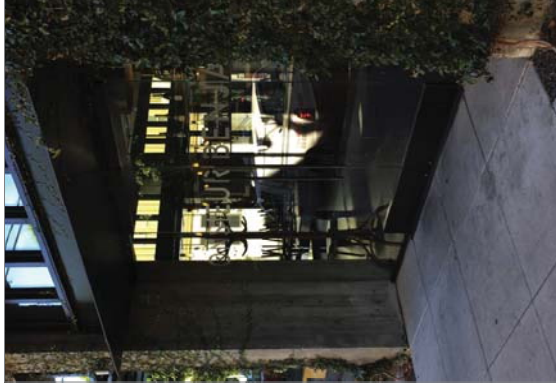
COURT ALT.



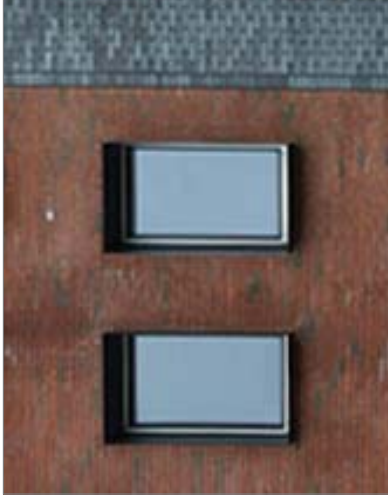
IIC FRAME



RY CANOPY



ENTRY



SHADOW-BOX OPENINGS



CONCRETE PLANTER

